

LEVEL	UNIT NO.	NO. OF BEDS	FLOOR AREA M2	BALCONY M2	TOTAL AREA M2	STORAGE AREA M3	SOLAR ACCESS	CROSS FLOW
GROUND FLOOR	UNIT A.G001	2	79	17	96	11.2	2+	YES
	UNIT A.G002	2	79	19	98	8.5	1+	NO
	UNIT A.G003	3	95	15	110	10.8	0	YES
	UNIT A.G004	2	95	23	118	12.4	2+	YES
	UNIT B.G001	2	84	39	123	11.2	2+	YES
	UNIT B.G002	2	82	42	124	8.5	2+	NO
	UNIT B.G003	2	80	42	122	8.6	2+	NO
LEVEL 1	UNIT A.G004	2	82	42	124	8.5	2+	NO
	UNIT A.G005	2	70	49	119	8.5	2+	YES
	UNIT A.1001	2	77	12	89	11.2	2+	YES
	UNIT A.1002	2	78	10	88	8.5	1+	NO
	UNIT A.1003	2	85	10	95	8.8	0	NO
	UNIT A.1004	3	91	12	103	13.4	0	YES
	UNIT A.1005	1	50	8	58	6.3	2+	YES
LEVEL 2	UNIT A.1006	1	52	9	61	6.3	2+	YES
	UNIT B.1001	2	75	12	87	11.2	2+	YES
	UNIT B.1002	2	75	11	86	8.5	2+	NO
	UNIT B.1003	2	75	11	86	8.4	2+	NO
	UNIT B.1004	3	96	12	108	11.7	2+	NO
	UNIT B.1005	3	94	12	106	11.4	2+	YES
	UNIT A.2001	2	78	12	90	11.2	2+	YES
LEVEL 3	UNIT A.2002	2	77	10	87	8.4	1+	NO
	UNIT A.2003	2	85	10	95	8.4	0	NO
	UNIT A.2004	2	76	17	93	8.4	1+	YES
	UNIT A.2005	1	50	8	58	6.3	2+	YES
	UNIT A.2006	1	52	8	60	6.3	2+	YES
	UNIT B.2001	2	75	12	87	11.2	2+	YES
	UNIT B.2002	2	75	11	86	8.2	2+	NO
LEVEL 4	UNIT B.2003	2	75	11	86	8.2	2+	NO
	UNIT B.2004	2	78	11	89	8.2	2+	NO
	UNIT B.2005	2	77	10	87	9.2	2+	YES
	UNIT B.2006	3	90	12	102	11.4	1+	YES
	UNIT A.3001	2	77	12	89	11.2	2+	YES
	UNIT A.3002	2	77	10	87	9.7	1+	NO
	UNIT A.3003	2	85	10	95	9.7	0	NO
LEVEL 5	UNIT A.3004	2	77	17	94	9	1+	YES
	UNIT A.3005	1	50	8	58	6.3	2+	YES
	UNIT A.3006	1	52	8	60	6.3	2+	YES
	UNIT B.3001	2	75	12	87	11.2	2+	YES
	UNIT B.3002	2	75	11	86	9	2+	NO
	UNIT B.3003	2	75	11	86	9.5	2+	NO
	UNIT B.3004	1	76	11	87	9.5	2+	NO
LEVEL 6	UNIT B.3005	2	77	10	87	9.5	2+	YES
	UNIT B.3006	3	90	12	102	12.7	1+	YES
	UNIT A.4001	2	75	12	87	11.2	2+	YES
	UNIT A.4002	2	75	10	85	9.5	1+	NO
	UNIT A.4003	2	82	10	92	8	0	NO
	UNIT A.4004	2	75	17	92	8	1+	YES
	UNIT A.4005	1	53	8	61	6.3	2+	YES
LEVEL 7	UNIT A.4006	1	51	8	59	6.3	2+	YES
	UNIT B.4001	2	75	12	87	11.2	2+	YES
	UNIT B.4002	2	78	11	89	8.6	2+	NO
	UNIT B.4003	2	70	11	81	8.6	2+	NO
	UNIT B.4004	2	78	11	89	12.5	2+	NO
	UNIT B.4005	2	79	10	89	12.5	2+	YES
	UNIT B.4006	3	95	12	107	12.7	1+	YES
LEVEL 8	UNIT A.5001	2	77	12	89	11.2	2+	YES
	UNIT A.5002	2	77	10	87	9.2	1+	NO
	UNIT A.5003	2	85	10	95	9.2	0	NO
	UNIT A.5004	1	62	9	71	9.2	1+	YES
	UNIT A.5005	1	50	8	58	6.3	2+	YES
	UNIT A.5006	1	52	8	60	6.3	2+	YES
	UNIT B.5001	2	75	12	87	11.2	2+	YES
LEVEL 9	UNIT B.5002	2	75	11	86	9.2	2+	NO
	UNIT B.5003	2	75	11	86	9.2	2+	NO
	UNIT B.5004	2	76	11	87	9.2	2+	NO
	UNIT B.5005	2	77	10	87	9	2+	YES
	UNIT B.5006	3	76	12	88	12.7	1+	YES
	UNIT A.6001	2	75	12	87	11.2	2+	YES
	UNIT A.6002	2	75	10	85	9	2+	NO
LEVEL 10	UNIT A.6003	2	82	10	92	9.3	2+	NO
	UNIT A.6004	2	75	17	92	9.3	1+	YES
	UNIT A.6005	1	53	8	61	6.3	2+	YES
	UNIT A.6006	1	51	8	59	6.3	2+	YES
	UNIT B.6001	2	75	12	87	11.2	2+	YES
	UNIT B.6002	2	78	11	89	9.3	2+	NO
	UNIT B.6003	2	70	11	81	9.3	2+	NO
LEVEL 11	UNIT B.6004	2	78	11	89	9.3	2+	NO
	UNIT B.6005	2	79	10	89	9.3	2+	YES
	UNIT B.6006	3	95	12	107	12.7	1+	YES
	UNIT A.7001	2	77	12	89	11.2	2+	YES
	UNIT A.7002	2	77	10	87	11.4	2+	NO
	UNIT A.7003	2	85	10	95	11.9	2+	NO
	UNIT A.7004	2	77	17	94	9.8	0	YES
LEVEL 12	UNIT A.7005	1	50	8	58	6.3	2+	YES
	UNIT A.7006	1	52	8	60	6.3	2+	YES
	UNIT B.7001	2	75	12	87	11.2	2+	YES
	UNIT B.7002	2	75	11	86	8.8	2+	NO
	UNIT B.7003	2	75	11	86	9	2+	NO
	UNIT B.7004	1	76	11	87	9.4	2+	NO
	UNIT B.7005	2	77	10	87	9.4	2+	YES
LEVEL 13	UNIT B.7006	3	90	12	102	16.3	1+	YES
	UNIT A.8001	2	77	12	89	11.2	2+	YES
	UNIT A.8002	2	78	10	88	11.9	2+	YES
	UNIT A.8003	2	95	12	107	11.9	2+	YES
	UNIT A.8004	3	94	31	125	10.5	2+	YES
	UNIT B.8001	2	75	12	87	11.2	2+	YES
	UNIT B.8002	2	76	15	91	11.9	2+	YES
LEVEL 14	UNIT B.8003	2	76	14	90	11.5	2+	YES
	UNIT B.8004	2	75	14	89	11.5	2+	YES
	UNIT B.8005	2	75	15	90	10.4	2+	YES
							76/101 - 75%	63/101 - 62%

BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	All Shower Heads 3 star(6 luts<=7.5l/min)	All toilet flushing systems 4 star	All kitchen taps 4 star	All bathroom taps 4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY	Hot water system: Central Gas- Refer to approved BASIX			
REFER TO APPROVED BASIX	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 (zoned)			
	Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 (zoned)			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
COMMON AREAS	Appliances: Gas cooktop & electric oven Dishwashers: 3.5 star energy rating Refer to approved BASIX cert			

6.4

Average star rating

NATIONWIDEE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no.:
Assessor Name:
Accreditation no.:
Certificate date:
Dwelling Address:
9-13 Goulburn St
Warwick Farm, NSW
2170

0000839150
Thomas Ruck
VIC/BD/AV/12/1456
11 October 2016

www.nathers.gov.au

NATHERS - THERMAL COMFORT SUMMARY		
Building Elements	Material	Detail
External walls	• Brick Veneer • Hebel + Furring Channel + Plasterboard	R1.5 Bulk Insulation
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Hebel + Furring Channel + Plasterboard	-
Common walls between Units & Fire Stairs/Lift Shaft	160mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation
Ceilings	Plasterboard	-
Roof	Concrete - Insulation to concrete exposed to external environment for units A2005, A7006, B7005	R2.0 Bulk Insulation
Top Floor Roof	Concrete	R1.5 Bulk Insulation
Floors	Concrete	R1.0 Bulk Insulation to suspended floors exposed to the external environment for Units A1003, A1004, A1005, A2004
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors / Fixed glazing	U value 6.70 or less and a SHGC of 0.70 +/- 5%
	Aluminium framed, single glazed clear – Awning Windows	U value 6.70 or less and a SHGC of 0.57 +/- 5%
Skylights	Double Glazed Clear	-

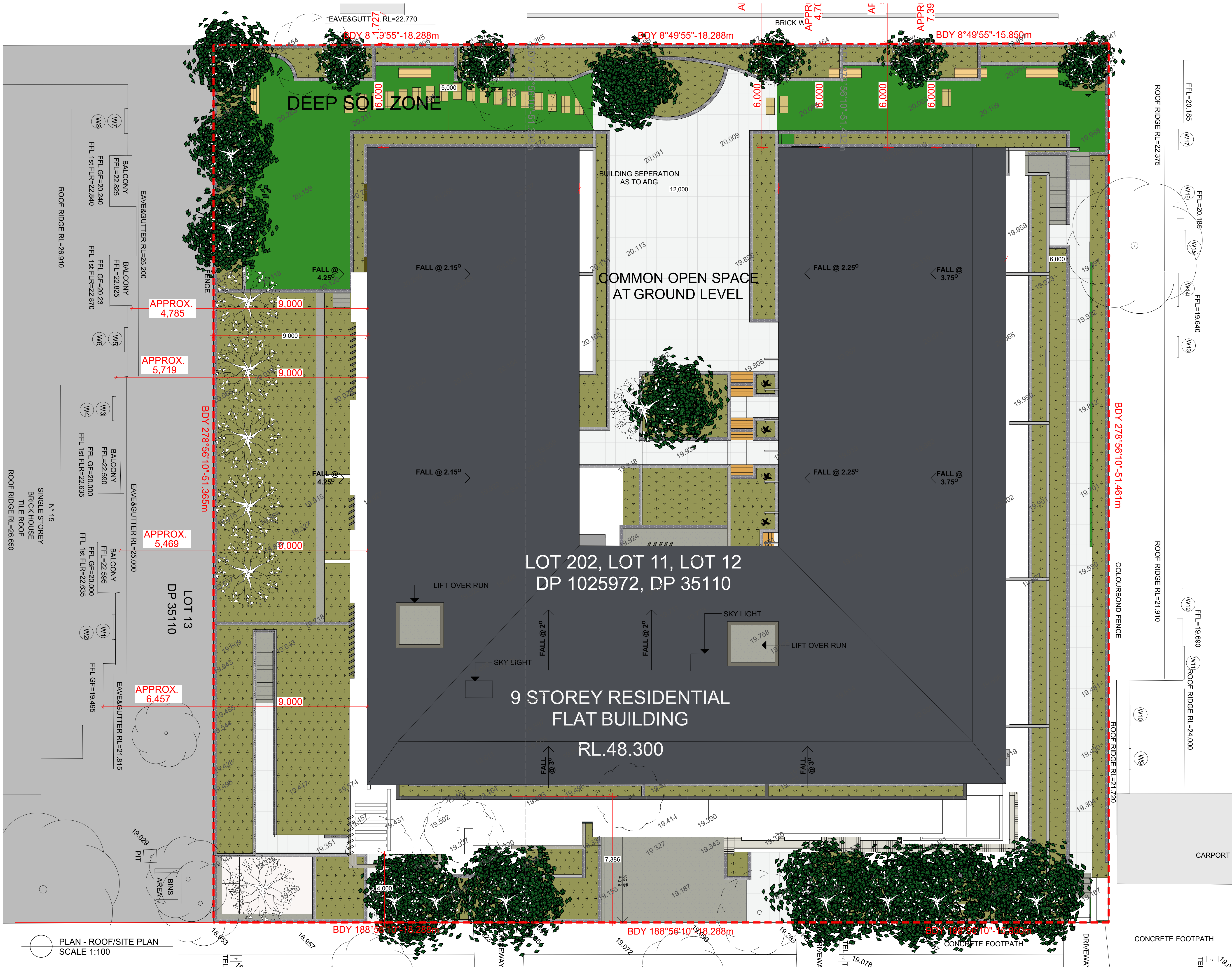
Note: If any of the elements nominated above change after the DA (Development Application) has been issued, a revised assessment should be undertaken prior to the Construction Certificate being issued with Construction drawings and specifications

TOTAL SITE AREA	2687 m²		
CONTROL	MAX ALLOWABLE	PROPOSED	COMPLIES
Liverpool LE2008			
BUILDING HEIGHT	35m	29.5m	YES
GROSS FLOOR AREA (GFA)	8061	8011	YES
FLOOR SPACE RATIO (FSR) (CI 4.4(2B))	3:1	2.98:1	YES
Part 7 – Division 1: City Centre Provisions			
CI 7.1 Objectives for Development In Liverpool City Centre	sub-clauses (a), (b) & (d) apply		Satisfied– to be addressed in SEE
CI 7.2 Sun Access in Liverpool City Centre	N/A		N/A
CI 7.3 Car parking in Liverpool City Centre	N/A		N/A
CI 7.4 Building Separation in Liverpool City Centre	sub-clauses (1) & (2)(b) apply: 12 metre separation required for HOB in 25 – 35 metre range	Complies within site: 13 metre separation; DA plans to show with regard to adjoining properties.	Yes
CI 7.5 Design Excellence in Liverpool City Centre	sub-clauses (1), (2) & (3)(a), (b), (c), (e) & (f) apply	To be addressed in Architectural Design Statement in SEE	

CALCULATION TABLE				
TOTAL SITE AREA	2687 m²			
CONTROL	MAX ALLOWABLE	PROPOSED	COMPLIES	
FLOOR SPACE RATIO (FSR)	3:1	2.98:1	YES	
GROSS FLOOR AREA (GFA)	8061	8011	YES	
BUILDING HEIGHT	35m	29.5m	YES	
CONTROL	MIN. REQUIRED		PROPOSED COMPLIES	
SOLAR ACCESS	70%	71 UNITS	76UNITS	YES
CROSS VENTILATION	60%	61 UNITS	62UNITS	YES
ADAPTABLE UNITS	10%	10.1 UNITS	11UNITS	YES
DEEP SOIL	15%	403 m²	422m²	YES
COMMUNAL OPEN SPACE	25%	672 m²	910 m²	YES

CAR PARKING				
ADG/RMS CONTROL	m2	UNITS	ADG MIN REQUIRED	PROPOSED
0.6 SPACES (1SPACE)/ 1 BED UNIT		14	8.4	14
0.9 SPACES (1.5 SPACE)/ 2 BED UNIT		75	67.5	112.5
1.4 SPACES (2 SPACES)/ 3 BED UNIT		12	16.8	24
VISITOR- 1 SPACE / 5 UNITS (4UNITS)		101	20.2	25.25
Total			112.9	175.75
CAR WASH			1	1
Total			113.9	176.75
			116	

DRAWING INDEX		
Drawing N.	Drawing Name	Published
SOLAR ACCESS IN NEIGHBOURHOOD		
DA0000	COVER SHEET	■
DA1002	SITE ANALYSIS	■
DA1003	SITE PLAN/ROOF PLAN	■
DA2000	DEMOLITION PLAN	■
DA2002	BUILDING SEPARATION	■
DA2100	BASEMENT 02	■
DA2101	BASEMENT 01	■
DA2102	GROUND FLOOR	■
DA2103	LEVEL 1	■
DA2104	LEVEL 2	■
DA2105	LEVEL 3	■
DA2106	LEVEL 4	■
DA2107	LEVEL 5	■
DA2108	LEVEL 6	■
DA2109	LEVEL 7	■
DA2110	LEVEL 8	■
DA2111	GFA CALCULATIONS	■
DA2112	SILVER UNIT COMPLIANCE UNITS -	■
ADAPTABLE UNITS		
DA2113	ADAPTABLE UNITS	■
DA2200	BUILDING SEPARATION	■
DA2201	BUILDING SEPARATION	■
DA3000	EAST ELEVATION	■
DA3001	SOUTH ELEVATION	■
DA3002	WEST ELEVATION	■
DA3003	INTERNAL NORTH ELEVATION	■
DA3004	INTERNAL SOUTH ELEVATION	■
DA3005	NORTH ELEVATION	■
DA3006	STREETSCAPE ELEVATION	■
DA3100	SECTION	■
DA3101	SECTION	■
DA3102	RAMP SECTION	■
DA3103		



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Certificate no.: 0000839150
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 11 October 2016

Average star rating: 6.4
NATIONWIDE HOUSE
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Dwelling Address:
9-13 Goulburn St
Warwick Farm, NSW
2170

H	GENERAL REVISION-comments	20/11/17	20/11/2017
G	GENERAL REVISION-DRP COMMENTS	23/10/2017	23/10/2017
F	GENERAL REVISION	12/10/2017	12/10/2017
E	GENERAL REVISION	29/08/2017	29/08/2017
D	GENERAL REVISION	30/03/2017	30/03/2017
C	GENERAL REVISION	09/02/2017	09/02/2017
B	DA AMENDMENTS	19/01/2017	19/01/2017
A	DA SUBMISSION	13/10/2016	13/10/2016
Issue	Amendment		Date
Client			

VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02 9745 0984
E info@urbanlink.com.au

Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**SITE
SITE PLAN/ROOF PLAN**

Date Generated
21/11/2017

Drawn
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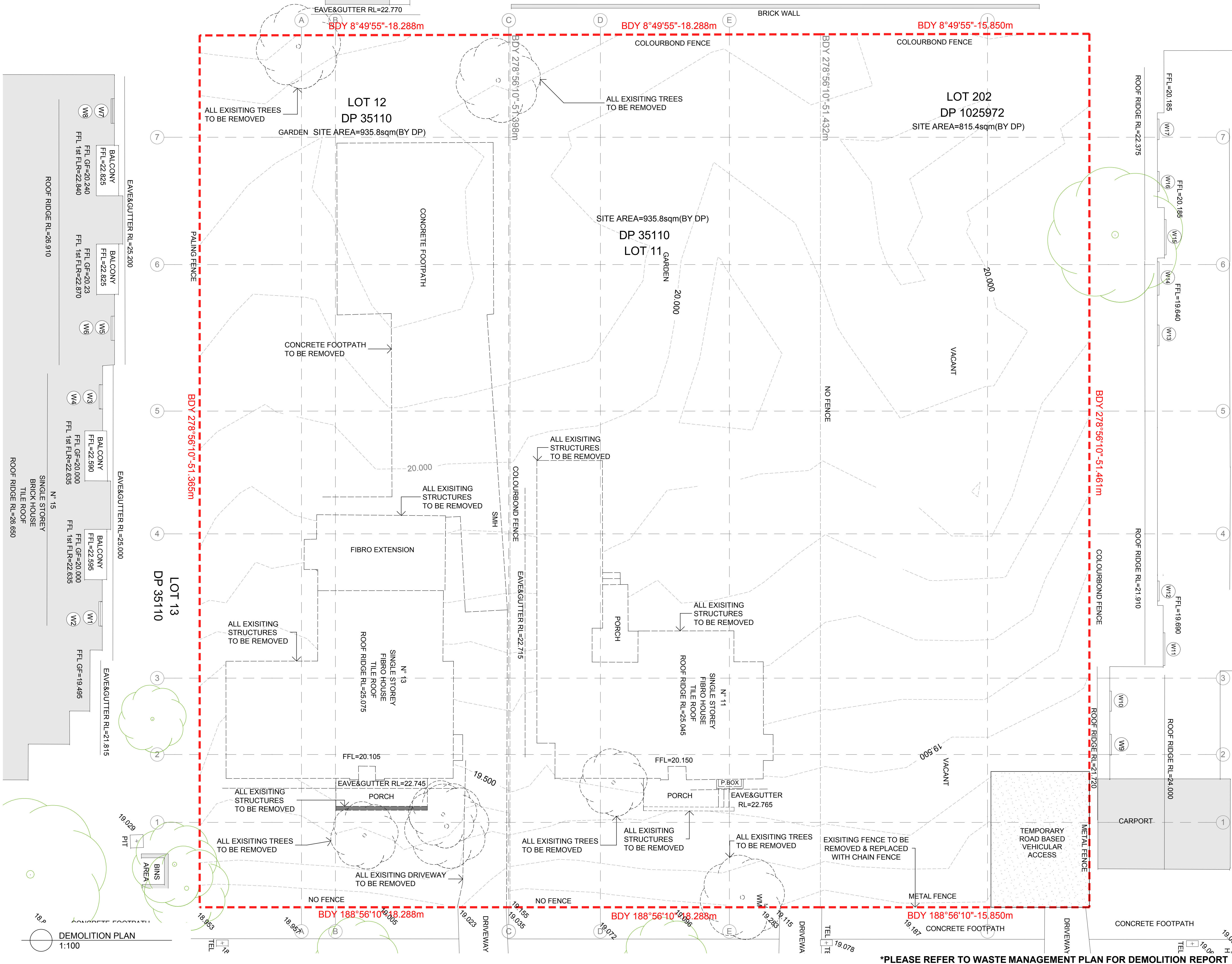
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16042

Drawing number
DA1003

Revision
H

Status
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LEGEND:	
	EXISTING TREE TO BE REMOVED
	EXISTING ELEMENT TO BE DEMOLISHED / REMOVED

A DA SUBMISSION
Issue Amendment
Client

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Project
9-13 GOULBURN STREET
WARWICK FARM

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Joseph El Khawaja Reg: 8933

Drawing Title
DEMOLITION PLAN
DEMOLITION PLAN

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17/10/2016

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16042 DA2000 A

Status
DA COORDINATION

*PLEASE REFER TO WASTE MANAGEMENT PLAN FOR DEMOLITION REPORT

G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

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Nominated Architect
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Joseph El Khawaja Reg: 8933

Drawing Title

FLOOR PLAN
BASEMENT 02

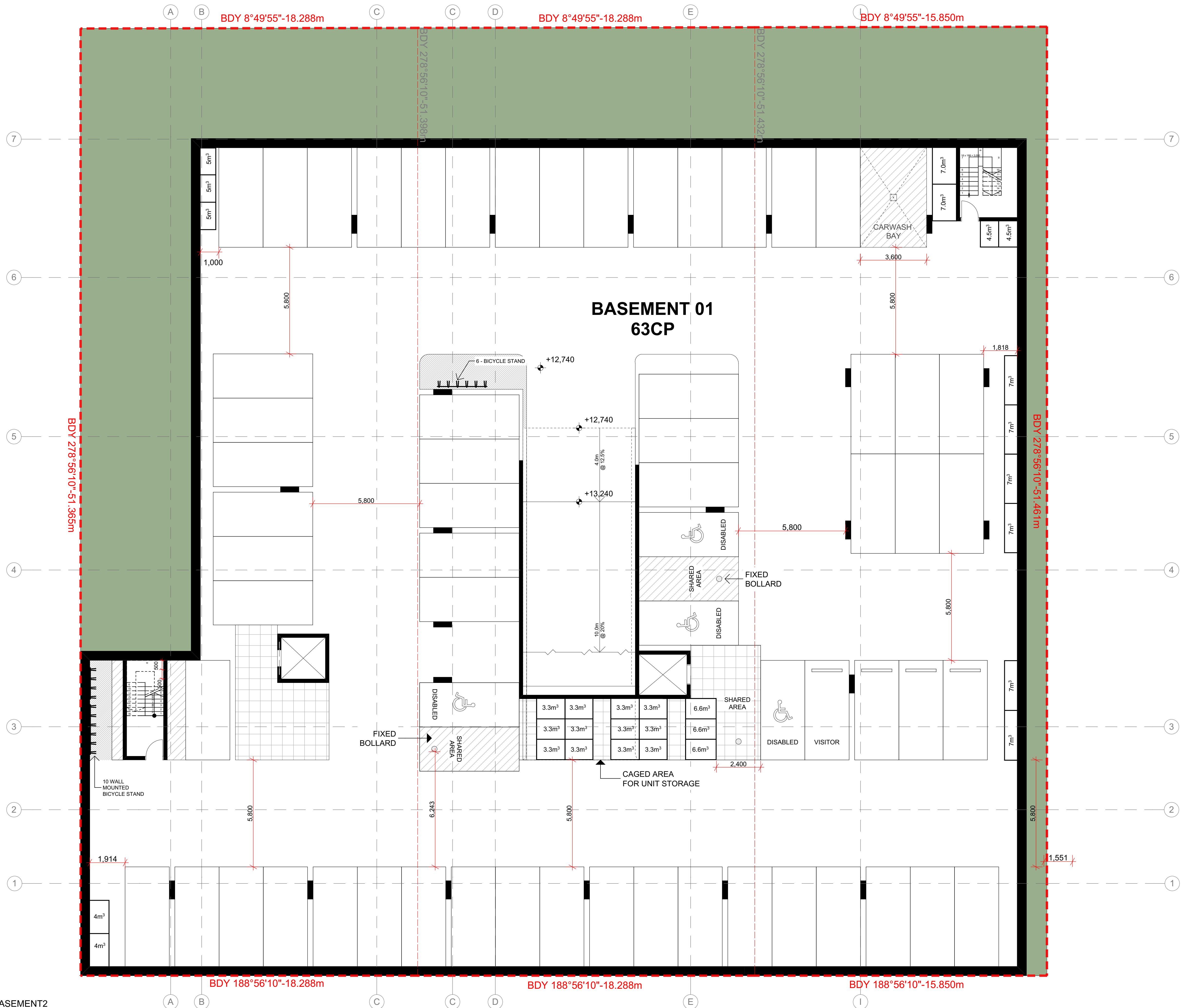
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16042 DA2100 E
Status
DA SUBMISSION





G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	28/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date
Client		

VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**FLOOR PLAN
BASEMENT 01**

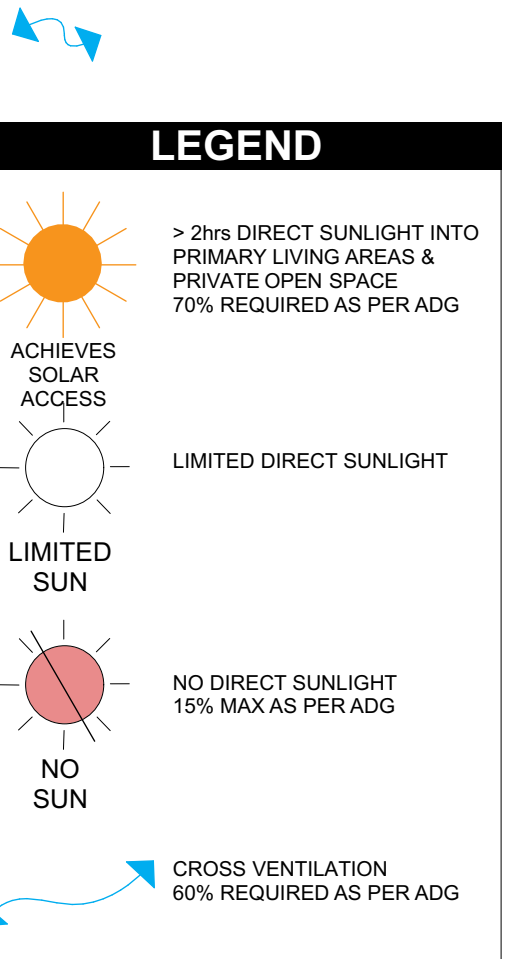
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1 PLAN - BASEMENT1
SCALE 1:100



G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK

LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title

FLOOR PLAN
GROUND FLOOR

Date Generated
27/10/2017

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Project number	Drawing number	Revision
16042	DA2102	E
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6.4
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
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Certificate no.: 000039150
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BD/AV12/1456
Certificate date: 11 October 2016
Dwelling Address: 9-13 Goulburn St, Warwick Farm, NSW 2170
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G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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P 02 97450 2014 F 02 9745 0984
E info@urbanklink.com.au
Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**FLOOR PLAN
LEVEL 1**

Date Generated
27/10/2017

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Scale
1:100, 1:1.23
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Project number
16042

Drawing number
DA2103

Revision
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NATIONWIDE HOUSE ENERGY RATING SCHEME
Average star rating: 6.4
Certificate no.: 0000639150
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BD/AV12/1456
Certificate date: 11 October 2016
Dwelling Address: 9-13 Goulburn St, Warwick Farm, NSW 2170
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G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client: VENTUS GROUP

Project: 9-13 GOULBURN STREET
WARWICK FARM

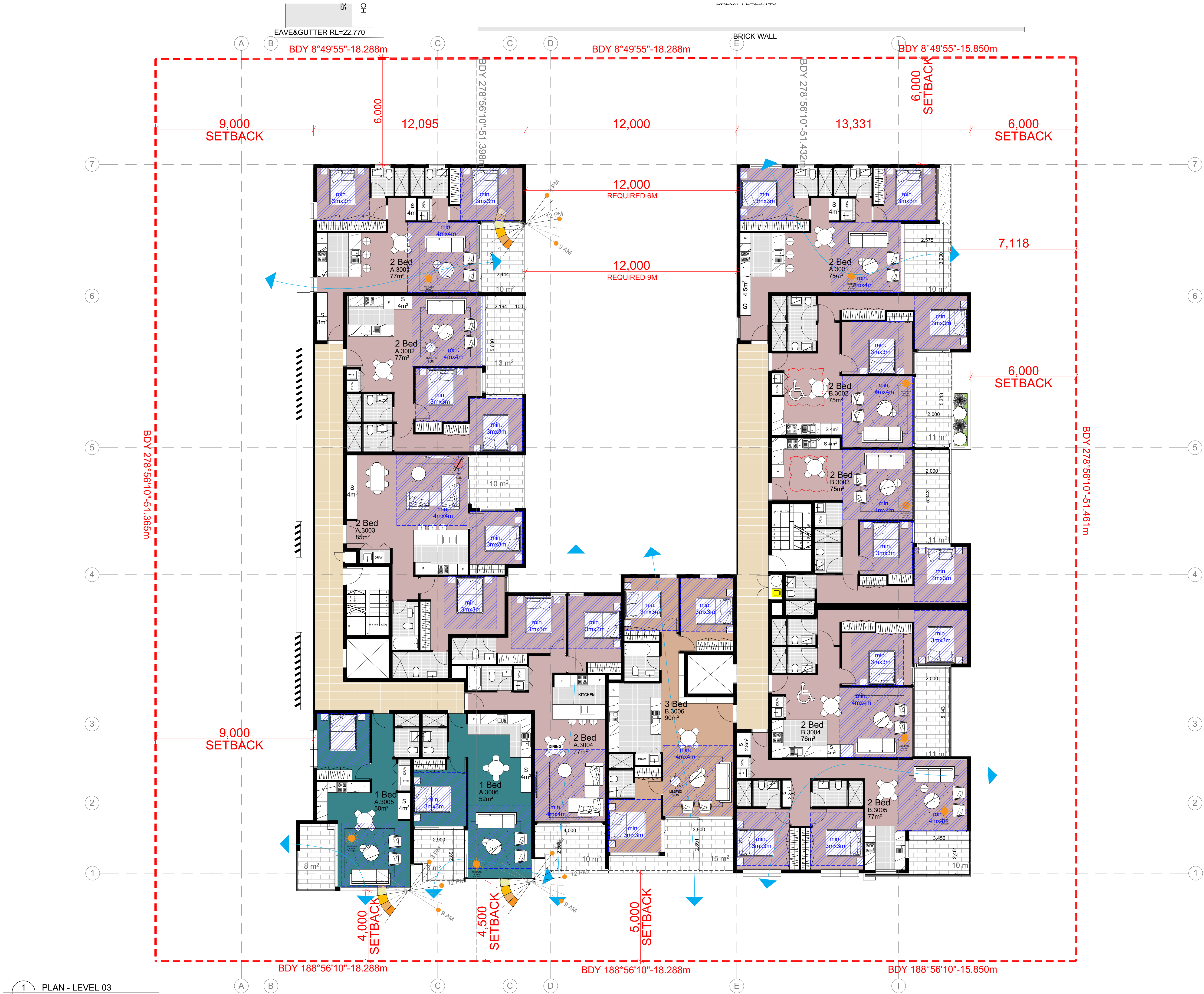
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LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P.O. BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02-9745 0884
E info@urbanklink.com.au
Nominated Architect:
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title: TYPICAL FLOOR PLAN @ 1:100

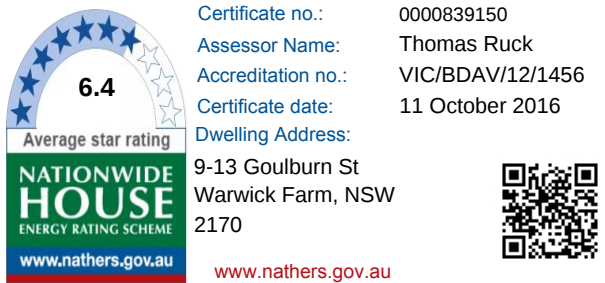
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Drawing number: DA2104
Status: DA SUBMISSION
Revision: E



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I	GENERAL REVISION-DRP COMMENTS	23/10/2017
H	GENERAL REVISION	12/10/2017
G	GENERAL REVISION	13/08/2017
F	UNIT NO. ADJUSTED	01/08/2017
E	GENERAL REVISION	28/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02-9745 0984
E info@urbanklink.com.au
Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**FLOOR PLAN
LEVEL 3**

Date Generated
27/10/2017

Drawn
CH

Checked
TJ

Scale
1:100, 1:1.23
@ A1 sheet size

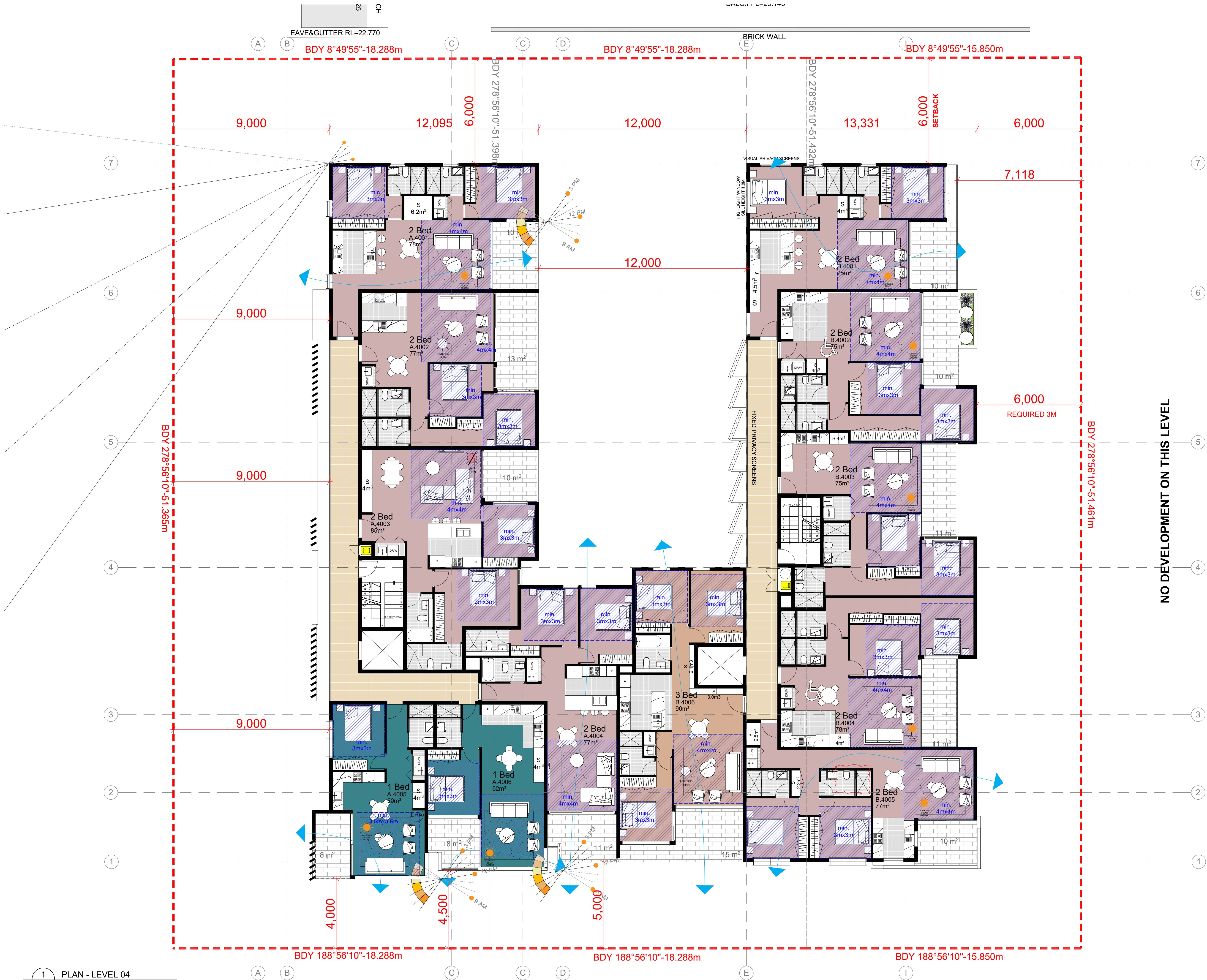
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Project number
16042

Drawing number
DA2105

Status
DA SUBMISSION

Revision
F



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H	GENERAL REVISION-DRP COMMENTS	23/10/2017
G	GENERAL REVISION	12/10/2017
F	GENERAL REVISION	29/08/2017
E	UNIT NO. ADJUSTED	01/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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E info@urbanklink.com.au
Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
FLOOR PLAN
LEVEL 4

Date Generated
27/10/2017
Drawn
CH
Checked
TJ

Scale
1:100, 1:1.23
@ A1 sheet size
50 mm on original

Project number
16042
Drawing number
DA2106
Status
DA SUBMISSION



I	GENERAL REVISION-DRP COMMENTS	23/10/2017
H	GENERAL REVISION	12/10/2017
G	GENERAL REVISION	29/08/2017
F	UNIT NO. ADJUSTED	01/08/2017
E	GENERAL REVISION	13/06/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

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Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**FLOOR PLAN
LEVEL 5**

Date Generated
27/10/2017

Drawn
CH

Checked
TJ

Scale
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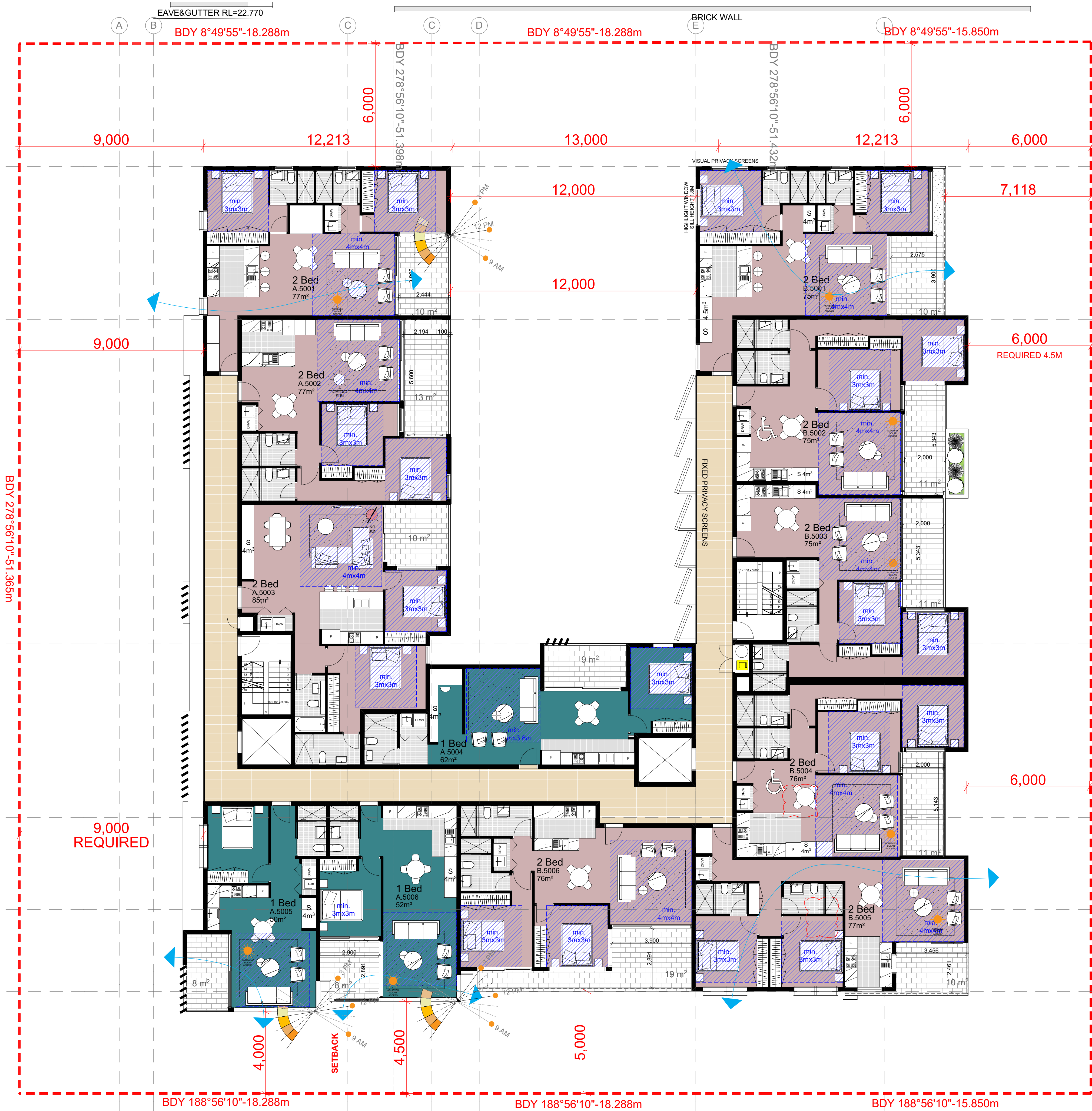
Project number
16042

Drawing number
DA2107

Revision
F

Status
DA SUBMISSION

NO DEVELOPMENT ON THIS LEVEL





G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
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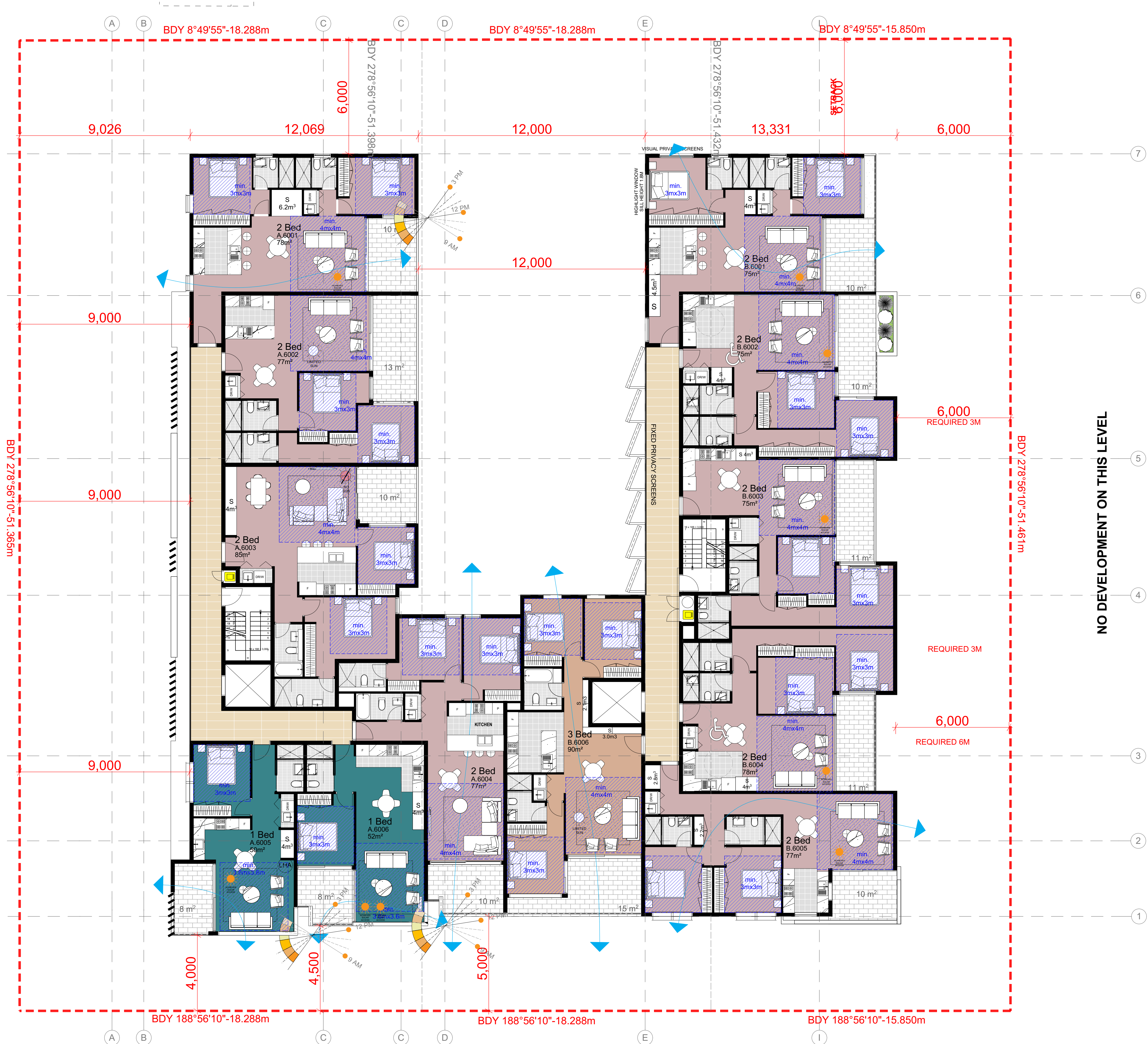
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**FLOOR PLAN
LEVEL 6**

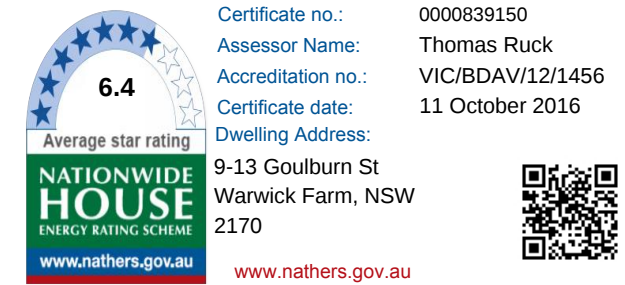
Date Generated
27/10/2017
Drawn
CH
Checked
TJ

Scale
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@ A1 sheet size
50 mm on original

Project number
16042
Drawing number
DA2108
Revision
E
Status
DA SUBMISSION

NO DEVELOPMENT ON THIS LEVEL





H	GENERAL REVISION-DRP COMMENTS	23/10/2017
G	GENERAL REVISION	12/10/2017
F	GENERAL REVISION	28/08/2017
E	GENERAL REVISION	13/06/2017
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C	GENERAL REVISION	09/02/2017
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A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P.O BOX 288 ENFIELD NSW 2136
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title

**FLOOR PLAN
LEVEL 7**

Date Generated
27/10/2017

Drawn
CH

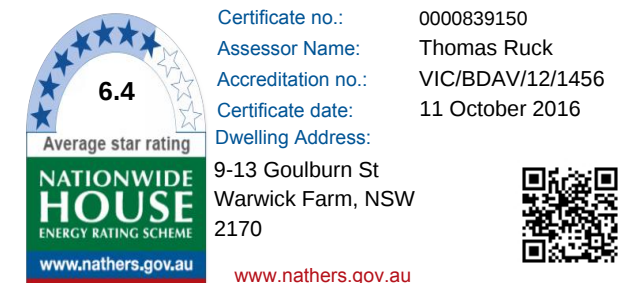
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@ A1 sheet size

50 mm on original

Project number
16042
Drawing number
DA2109
Revision
E
Status
DA SUBMISSION

NO DEVELOPMENT ON THIS LEVEL



G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date
Client	VENTUS GROUP	

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**FLOOR PLAN
LEVEL 8**

Date Generated
27/10/2017

Drawn
CH

Checked
TJ

Scale
1:100, 1:1.23
@ A1 sheet size

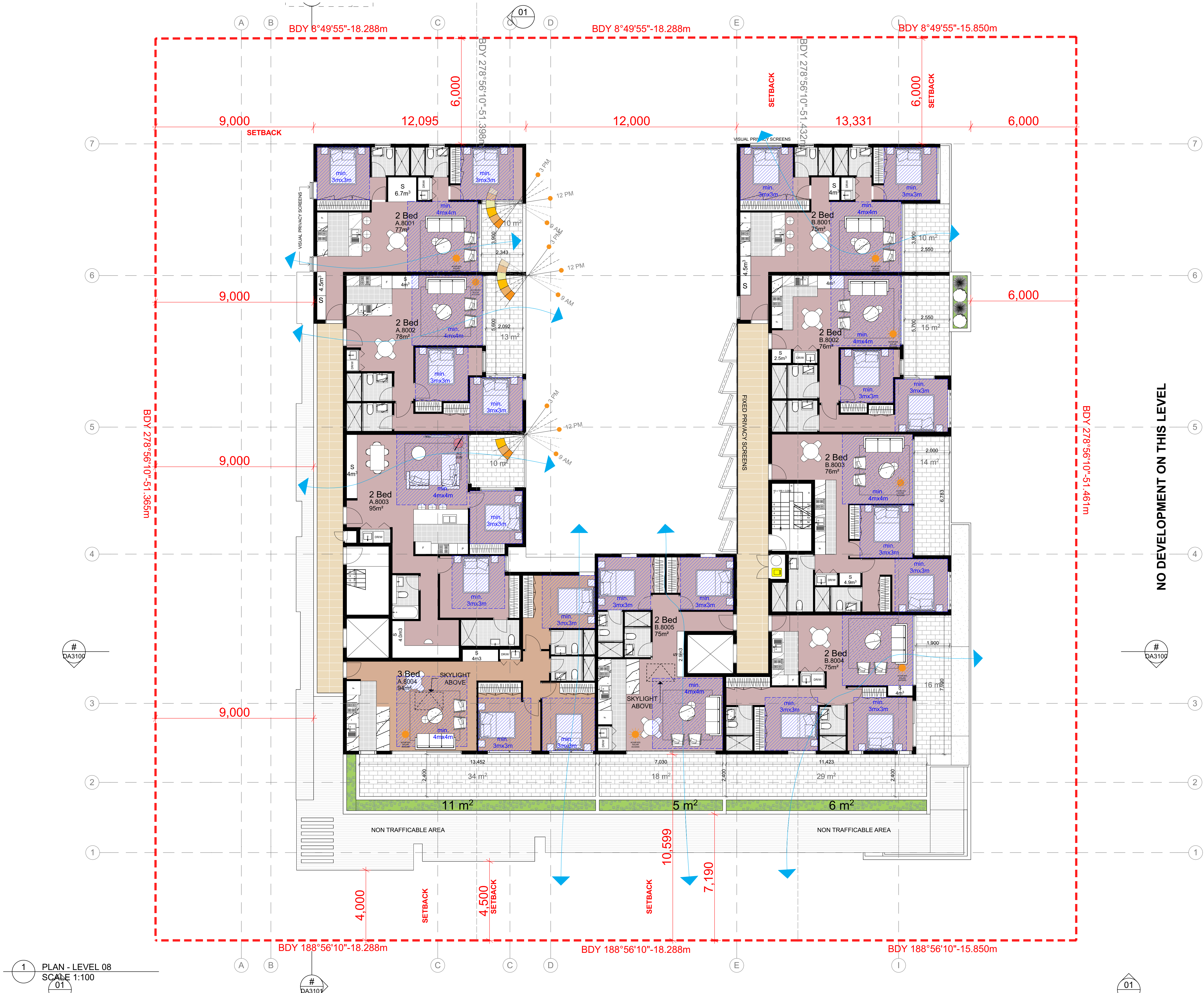
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Project number
16042

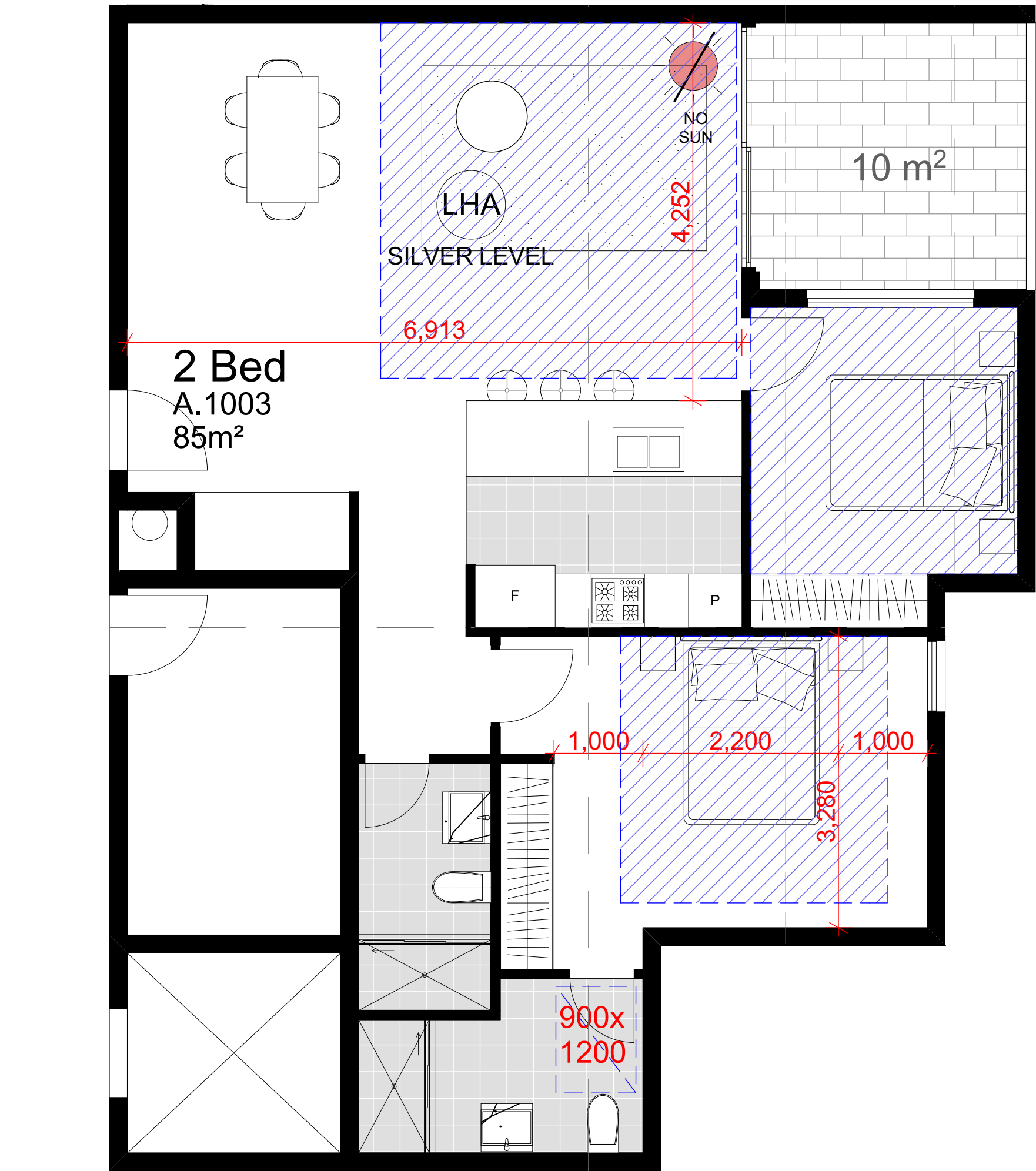
Drawing number
DA2110

Revision
E

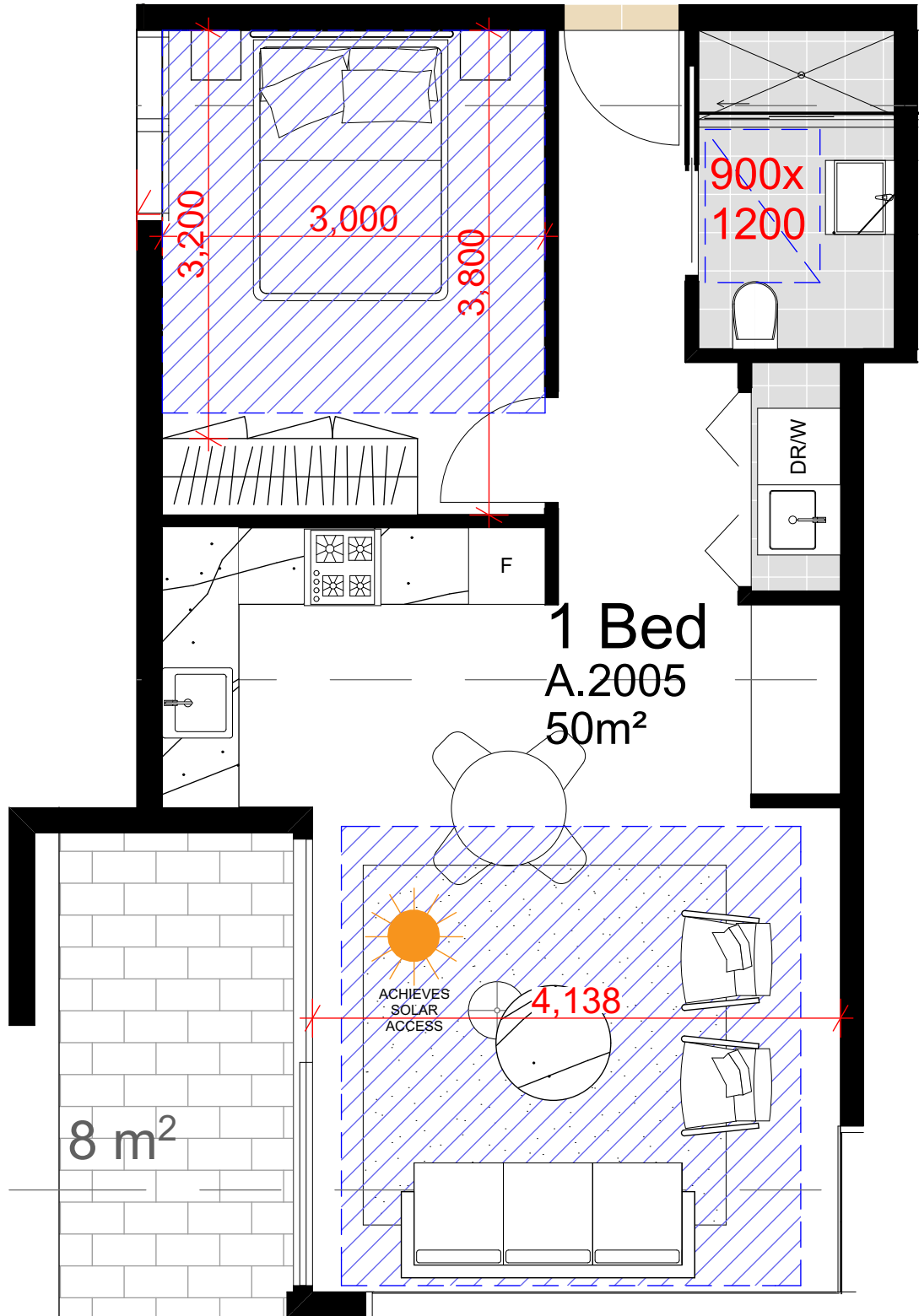
Status
DA SUBMISSION



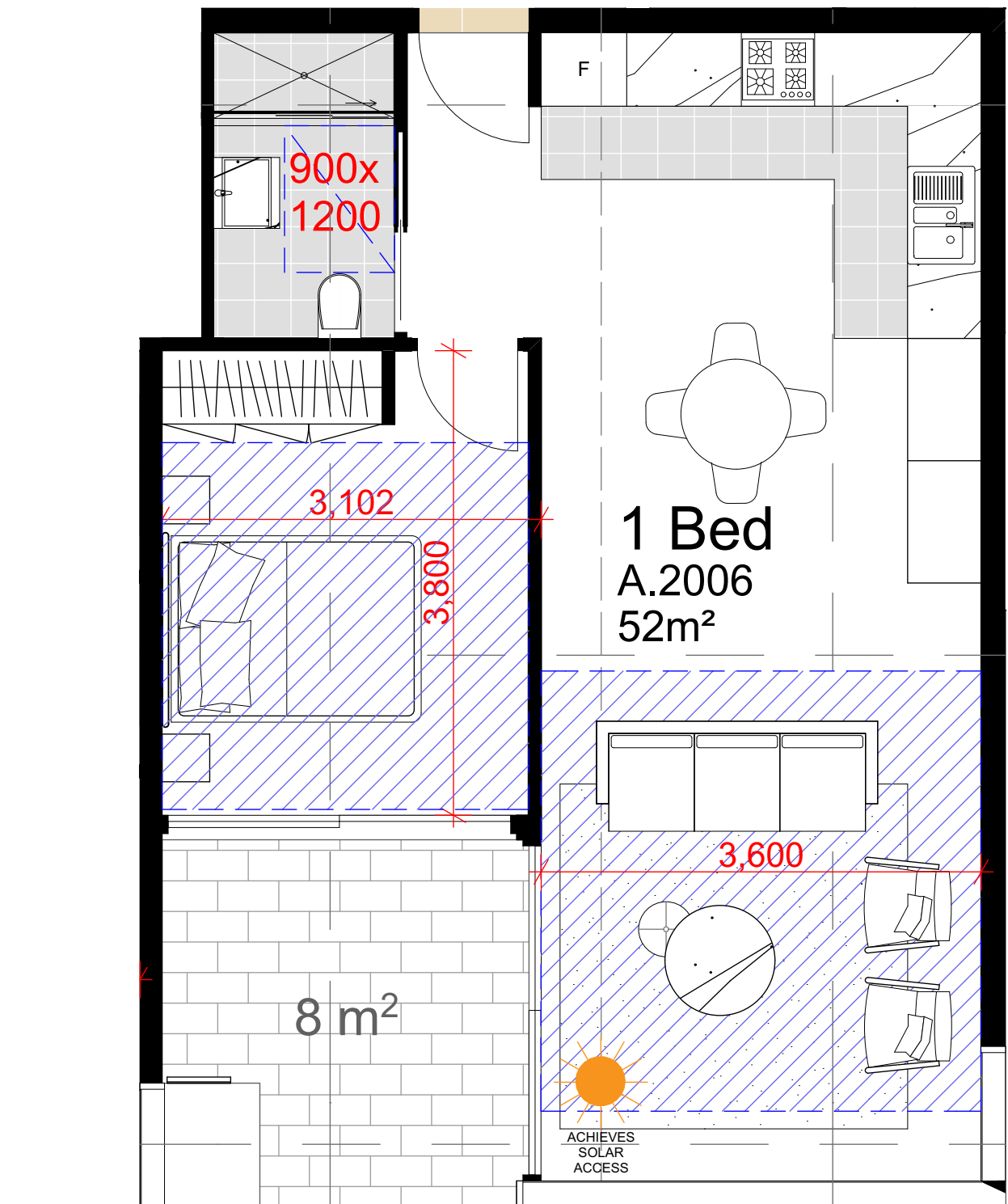
1 PLAN - LEVEL 08
SCALE 1:100
01



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SILVER COMPLIANCE - UNITS A.1005, A.2005, A.3005, A.4005, A.5005, A.6005, A.7005
1:50



SILVER COMPLIANCE - UNITS A.1006, A.2006, A.3006, A.4006, A.5006, A. 6006, A. 7006
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H	GENERAL REVISION-comments	20/11/17	20/11/2017
G	GENERAL REVISION-DRP COMMENTS	23/10/2017	23/10/2017
F	GENERAL REVISION	12/10/2017	12/10/2017
E	GENERAL REVISION	29/08/2017	29/08/2017
D	GENERAL REVISION	30/03/2017	30/03/2017
C	GENERAL REVISION	09/02/2017	09/02/2017
B	DA AMENDMENTS	19/01/2017	19/01/2017
A	DA SUBMISSION	13/10/2016	13/10/2016
Issue	Amendment		Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

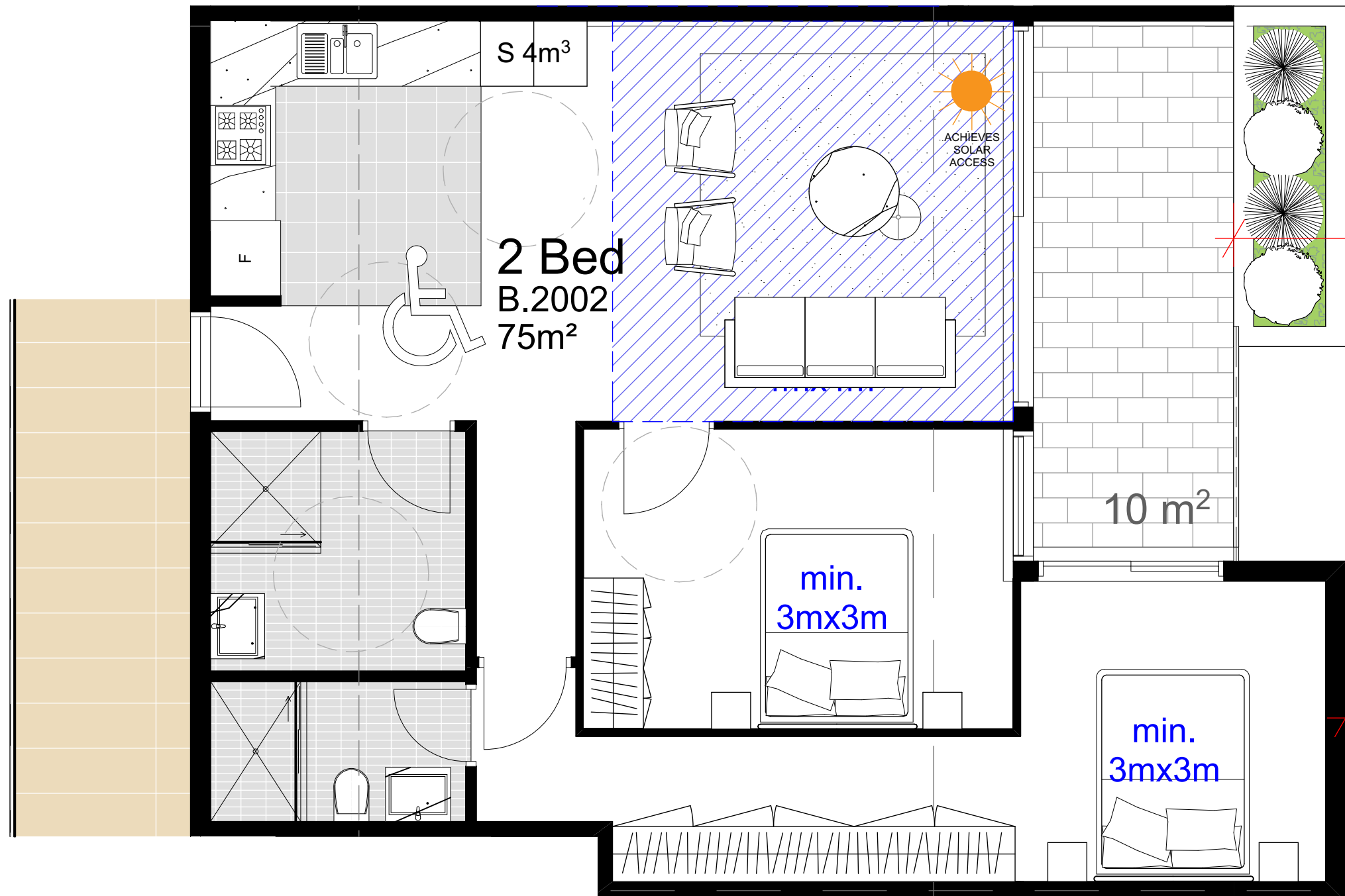
URBAN LINK
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E info@urbanklink.com.au
Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
DA2200 ADAPTABLE
SILVER UNIT COMPLIANCE UN

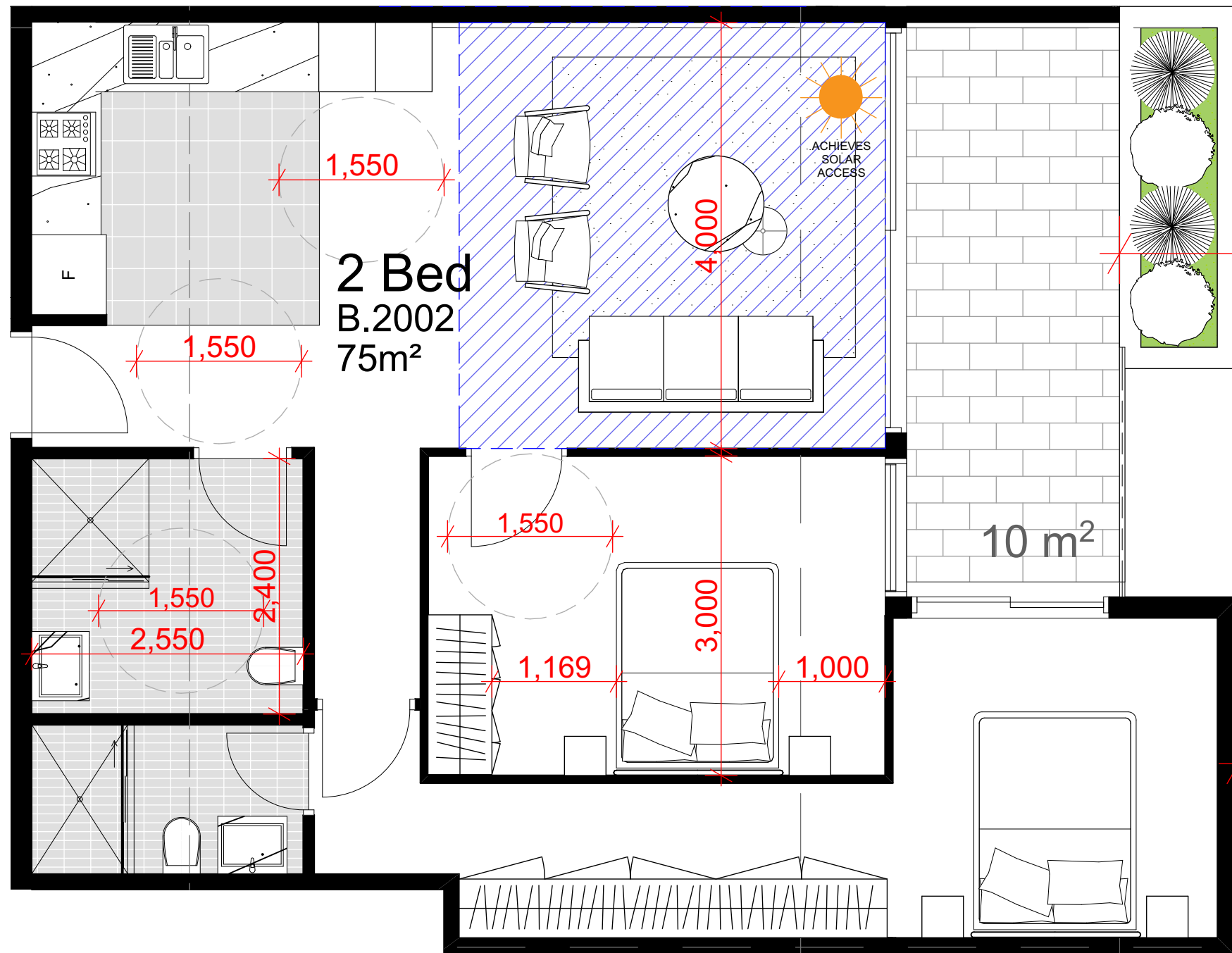
Date Generated
21/11/2017
Drawn
CH
Checked
TJ

Scale
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@ A1 sheet size
50 mm on original

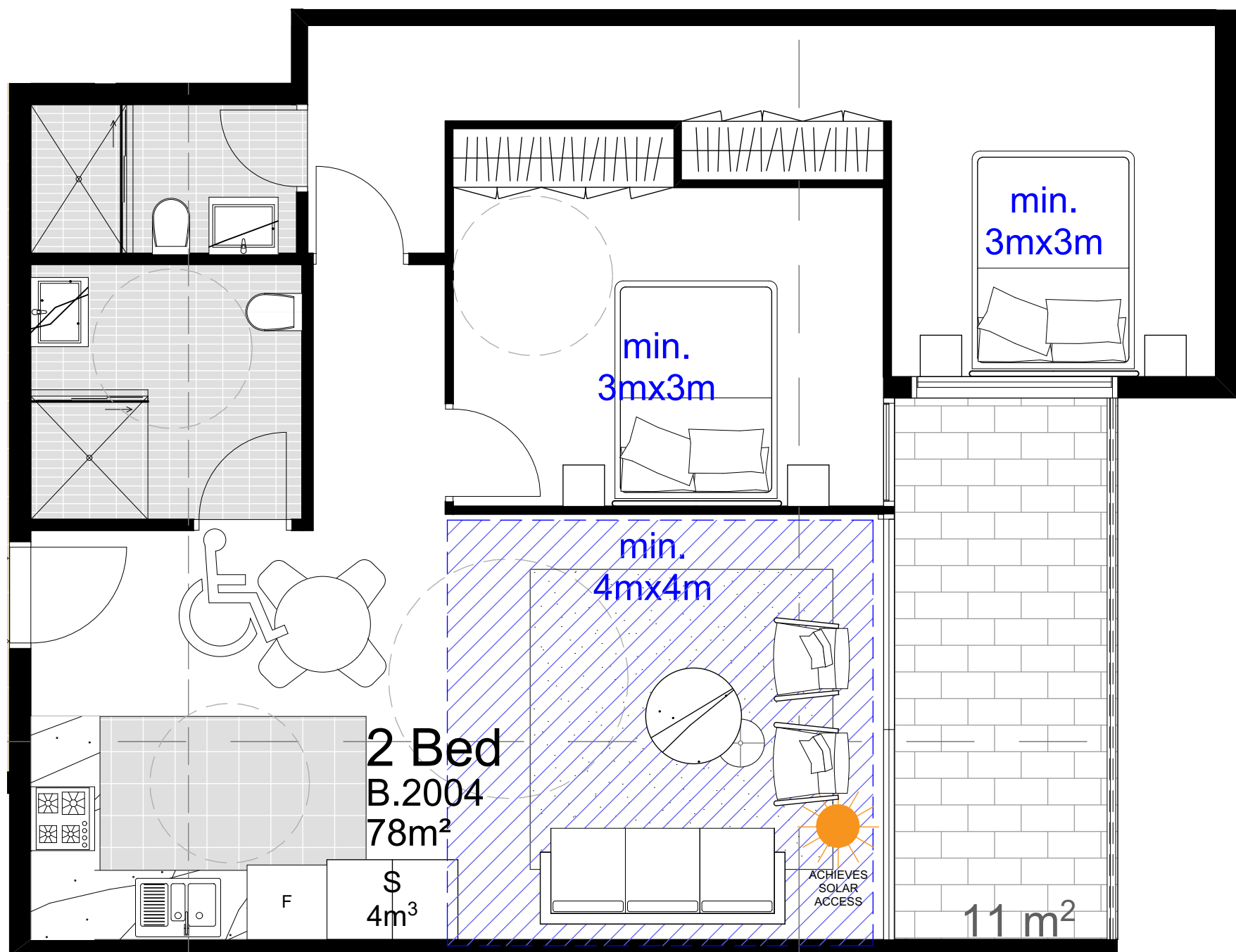
Project number
16042
Drawing number
DA2112
Revision
H
Status
DA SUBMISSION



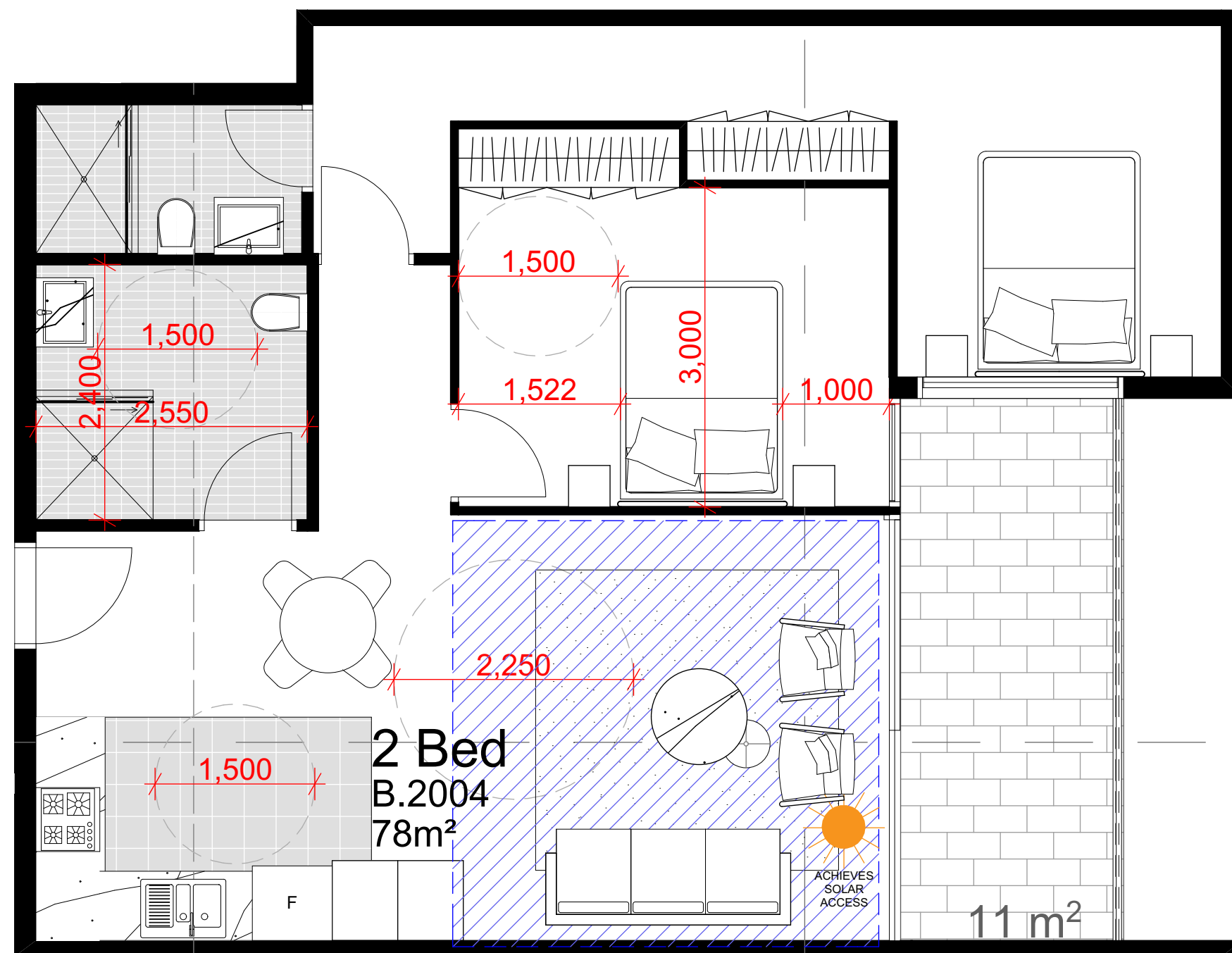
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POST - ADAPTABLE - UNITS B.G002, B.1002, B.2002, B.3002, B.4002, B.5002
1:50



PRE-ADAPTABLE - UNITS B.G004, B.2004, B.3004, B.4004, B.5004
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POST ADAPTABLE UNITS - B.G004, B.2004, B.3004, B.4004, B.5004
1:50

H	GENERAL REVISION-comments	20/11/17	20/11/2017
G	GENERAL REVISION-DRP COMMENTS		23/10/2017
F	GENERAL REVISION		12/10/2017
E	GENERAL REVISION		29/08/2017
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C	GENERAL REVISION		09/02/2017
B	DA AMENDMENTS		19/01/2017
A	DA SUBMISSION		13/10/2016
Issue	Amendment		Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P.O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02-9745 0984
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
DA2200 ADAPTABLE
ADAPTABLE UNITS

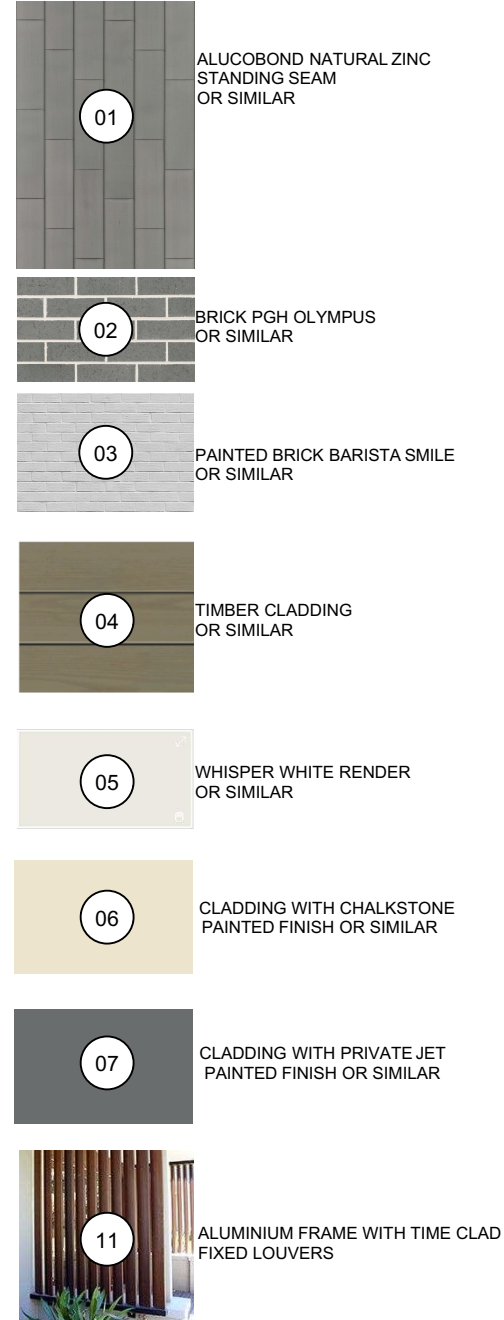
Date Generated
21/11/2017
Drawn
CH
Checked
TJ

Scale
1:50
@ A1 sheet size
50 mm on original

Project number
16042
Drawing number
DA2113
Revision
H
Status
DA SUBMISSION

LEGEND

MATERIAL SCHEDULE



CODE DESCRIPTION	MATERIAL FINISH
01 Exterior Wall	Alucobond natural zinc standing seam or similar
02 Exterior Wall	Brick PGH Olympus or similar
03 Exterior Wall	Painted brick - Barista Smile
04 Exterior Wall	Timber Cladding or similar
05 Exterior Wall	Whisper White render or similar
06 Exterior Wall	Facade Cladding with Chalkstone painted finish
07 Exterior Wall	Facade Cladding with Private Jet painted finish
08 Balustrade	Flat Bar (Dulux Burnished Copper) with glazing
09 Window	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze)
10 Sliding glass doors	Aluminium frame (Black Ace, Dulux) & clear glass
11 Louvers	Aluminium frame with timber clad fixed louvers
12 Balustrade	Flat Bar vertical panels (Dulux Burnished Copper)



G	GENERAL REVISION-DRP COMMENTS	23/10/2017
F	GENERAL REVISION	12/10/2017
E	GENERAL REVISION	28/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P.O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02 9745 0984
E info@urbanklink.com.au
Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**ELEVATIONS
EAST ELEVATION**

Date Generated 27/10/2017 Drawn CH Checked TJ

Scale
1:100, 1:1.89, 1:1.26, 1:1.23
@ A1 sheet size 50 mm on original

Project number 16042 Drawing number DA3000 E

Status
DA SUBMISSION



EAST ELEVATION
1:100

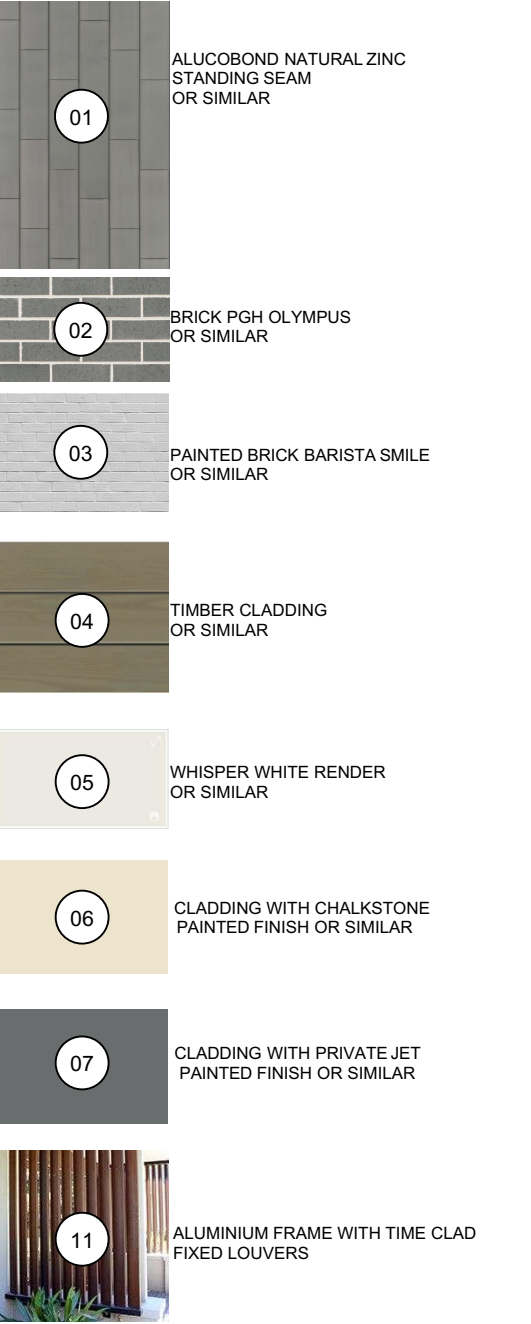
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT *				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	3 star (4.6 bar) or 7.5L/min	4 star	4 star	4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY	Hot water system: Central Gas - Refer to approved BASIX			
REFER TO APPROVED BASIX	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase - EER 2.5 - 3.0 (zoned)			
	Heating system: air-conditioning 1 Phase - EER 2.5 - 3.0 (zoned)			
	Artificial lighting: As per BASIX			
COMMON AREAS	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven			
	Dishwashers: 3.5 star energy rating			
Refer to approved BASIX cert				

NATHERS - THERMAL COMFORT SUMMARY		
Building Elements	Material	Detail
External walls	Brick Veneer Hebel + Furring Channel + Plasterboard	R1.5 Bulk Insulation
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Hebel + Furring Channel + Plasterboard	-
Common walls between Units & Fire Stair/Lift Shaft	20mm Concrete + Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation
Ceilings	Plasterboard	-
Roof	Concrete - Insulation to concrete exposed to external environment for units A1005, A1006, A1007	R2.0 Bulk Insulation
Top Floor Roof	Concrete	R2.5 Bulk Insulation
Floors	Concrete	R1.0 Bulk Insulation to suspended floor exposed to the external environment for Units A1003, A1004, A1005, A2004 U value 0.70 or less and a SHGC of 0.70 +/- 5%
Windows	Aluminium framed, single glazed clear - Sliding Windows / Doors / Fixed Glazing	U value 0.70 or less and a SHGC of 0.70 +/- 5%
Skylights	Aluminium framed, single glazed clear - Awning Windows	U value 0.70 or less and a SHGC of 0.70 +/- 5%
Double Glazed Clear	Double Glazed Clear	-
Lighting: These units must use non-ventilated LED downlights as per individual NATHERS Certificates if proposed		
Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers		

Note: If any of the elements nominated above change after the DA (Development Application) has been issued, a revised assessment should be undertaken prior to the Construction Certificate being issued with construction drawings and specifications.

LEGEND

MATERIAL SCHEDULE



CODE DESCRIPTION	MATERIAL FINISH
01 Exterior Wall	Alucobond natural zinc standing seam or similar
02 Exterior Wall	Brick PGH Olympus or similar
03 Exterior Wall	Painted brick - Barista Smile
04 Exterior Wall	Timber Cladding or similar
05 Exterior Wall	Whisper White render or similar
06 Exterior Wall	Facade Cladding with Chalkstone painted finish
07 Exterior Wall	Facade Cladding with Private Jet painted finish
08 Balustrade	Flat Bar (Dulux Burnished Copper) with glazing
09 Window	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze) & clear glass
10 Sliding glass door	Aluminium frame (Black Ace, Dulux) & clear glass
11 Louvers	Aluminium frame with timber clad fixed louvers
12 Balustrade	Flat Bar vertical panels (Dulux Burnished Copper)



G	GENERAL REVISION-DRP COMMENTS	23/10/2017
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E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02-9745 0984
E info@urbanklink.com.au
Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
ELEVATIONS
SOUTH ELEVATION

Date Generated 27/10/2017 Drawn CH Checked TJ

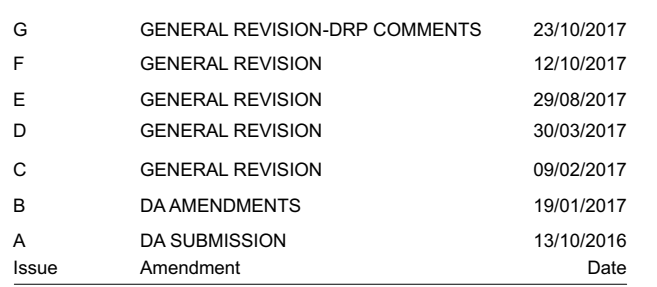
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Project number 16042 Drawing number DA3001 Revision E
Status DA SUBMISSION



PLAN - SOUTH ELEVATION
SCALE 1:100

MATERIAL SCHEDULE



Project
9-13 GOULBURN STREET
WARWICK FARM

Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

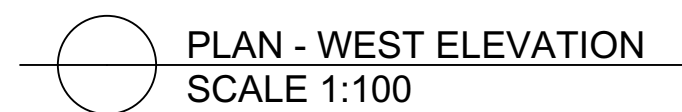
Date Generated 27/10/2017 Drawn CH Checked TJ 

Scale
1:100, 1:1.23
@ A1 sheet size

50 mm on original

Project number Drawing number Revision
16042 DA3002 E

Status
DA SUBMISSION



35m MAXIMUM HEIGHT LIMIT

LEGEND	
MATERIAL SCHEDULE	
	01 ALUCOBOND NATURAL ZINC STANDING SEAM OR SIMILAR
	02 BRICK PGH OLYMPUS OR SIMILAR
	03 PAINTED BRICK BARISTA SMILE OR SIMILAR
	04 TIMBER CLADDING OR SIMILAR
	05 WHISPER WHITE RENDER OR SIMILAR
	06 CLADDING WITH CHALKSTONE PAINTED FINISH OR SIMILAR
	07 CLADDING WITH PRIVATE JET PAINTED FINISH OR SIMILAR
	11 ALUMINIUM FRAME WITH TIME CLAD FIXED LOUVERS
CODE DESCRIPTION MATERIAL FINISH	
01 Exterior Wall	Alucobond natural zinc standing seam or similar
02 Exterior Wall	Brick PGH Olympus or similar
03 Exterior Wall	Painted brick - Barista Smile
04 Exterior Wall	Timber Cladding or similar
05 Exterior Wall	Whisper White render or similar
06 Exterior Wall	Cladding with Chalkstone painted finish
07 Exterior Wall	Cladding with Private Jet painted finish
08 Exterior Wall	Cladding with Private Jet painted finish
09 Balustrade	Flat Bar (Dulux Burnished Copper) with glazing
10 Window	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze)
11 Sliding glass doors	Aluminium frame (Black Anod, Dulux) & clear glass
12 Louvers	Aluminium frame with timber clad fixed louvers
13 Balustrade	Flat Bar vertical panels (Dulux Burnished Copper)



G	GENERAL REVISION-DRP COMMENTS	23/10/2017
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Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

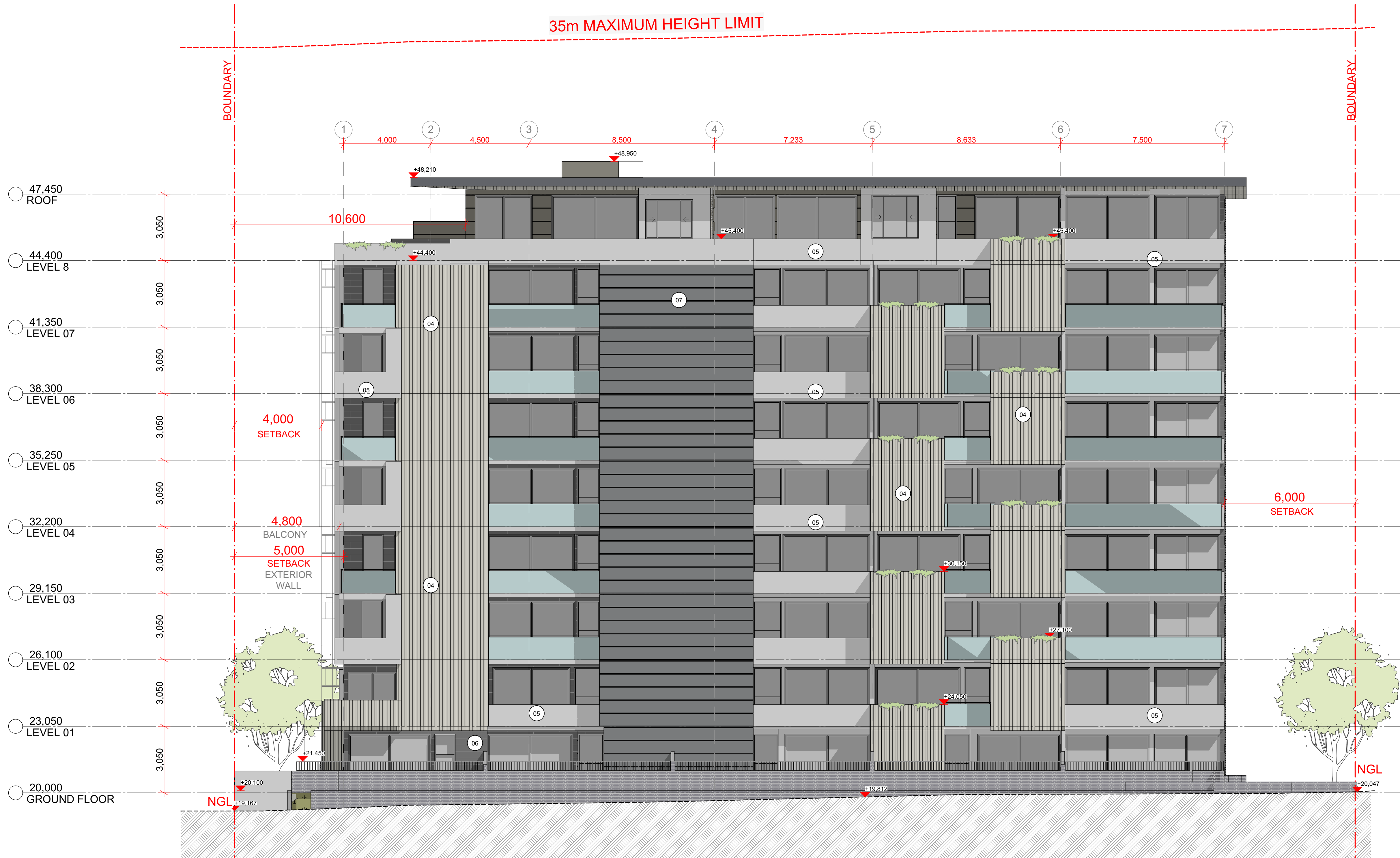
URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
P O BOX 288 ENFIELD NSW 2136
P 02 97450 2014 F 02-9745 0984
E info@urbanklink.com.au
Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
**ELEVATIONS
NORTH ELEVATION**

Date Generated
27/10/2017
Drawn
CH
Checked
TJ

Scale
1:100, 1:1.23
@ A1 sheet size
50 mm on original

Project number
16042
Drawing number
DA3005
Revision
E
Status
DA SUBMISSION





STREETSCAPE ELEVATION
SCALE 1:100

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7 GOULBURN STREET,
WARWICK FARM
SINGLE STOREY
RESIDENTIAL BUILDING

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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P 02 97450 2014 F 02-9745 0984
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
ELEVATIONS
STREETSCAPE ELEVATION

Date Generated 21/11/2017 Drawn CH Checked TJ

Scale
1:100, 1:1.23
@ A1 sheet size 50 mm on original

Project number 16042 Drawing number DA3006 Revision H
Status DA SUBMISSION



LEGEND

MATERIAL SCHEDULE

01	ALUCOBOND NATURAL ZINC STANDING SEAM OR SIMILAR
02	BRICK PGH OLYMPUS OR SIMILAR
03	PAINTED BRICK BARISTA SMILE OR SIMILAR
04	TIMBER CLADDING OR SIMILAR
05	WHISPER WHITE RENDER OR SIMILAR
06	CLADDING WITH CHALKSTONE PAINTED FINISH OR SIMILAR
07	CLADDING WITH PRIVATE JET PAINTED FINISH OR SIMILAR
11	ALUMINIUM FRAME WITH TIME CLAD FIXED LOUVERS

CODE	DESCRIPTION	MATERIAL / FINISH
01	Exterior Wall	Alucobond natural zinc standing seam or similar
02	Exterior Wall	Brick PGH Olympus or similar
03	Exterior Wall	Painted brick - Barista Smile
04	Exterior Wall	Timber Cladding or similar
05	Exterior Wall	Whisper White render or similar
06	Exterior Wall	Facade Cladding with Chalkstone painted finish
07	Exterior Wall	Facade Cladding with Private Jet painted finish
08	Balustrade	Flat Bar (Dulux Burnished Copper) with glazing
09	Window	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze) & clear glass
10	Sliding glass door	Aluminium frame (Black Ace, Dulux) & clear glass
11	Looues	Aluminium frame with timber clad fixed louvers
12	Balustrade	Flat Bar vertical panels (Dulux Burnished Copper)

Average star rating
6.4
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0000839150
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BD/AV12/1456
Certificate date: 11 October 2016
Dwelling Address: 9-13 Goulburn St Warwick Farm, NSW 2170
www.nathers.gov.au



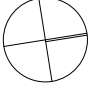
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G	GENERAL REVISION-DRP COMMENTS		23/10/2017
F	GENERAL REVISION		12/10/2017
E	GENERAL REVISION		29/08/2017
D	GENERAL REVISION		30/03/2017
C	GENERAL REVISION		09/02/2017
B	DA AMENDMENTS		19/01/2017
A	DA SUBMISSION		13/10/2016
Issue	Amendment		Date
Client			

VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

URBAN LINK
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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Nominated Architect
Ziad Boumeihem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
ELEVATIONS
INTERNAL NORTH ELEVATION

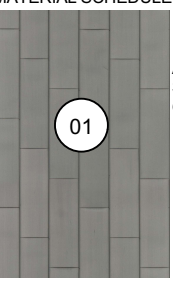
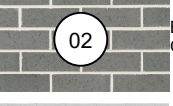
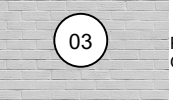
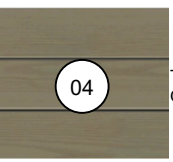
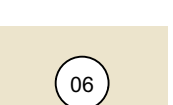
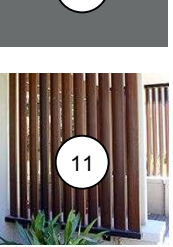
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@ A1 sheet size 50 mm on original

Project number 16042	Drawing number DA3003	Revision H
Status DA SUBMISSION		



PLAN - INTERNAL NORTH ELEVATION
SCALE 1:100

LEGEND	
MATERIAL SCHEDULE	
	01 ALUCOBOND NATURAL ZINC STANDING SEAM OR SIMILAR
	02 BRICK PGH OLYMPUS OR SIMILAR
	03 PAINTED BRICK BARISTA SMILE OR SIMILAR
	04 TIMBER CLADDING OR SIMILAR
	05 WHISPER WHITE RENDER OR SIMILAR
	06 CLADDING WITH CHALKSTONE PAINTED FINISH OR SIMILAR
	07 CLADDING WITH PRIVATE JET PAINTED FINISH OR SIMILAR
	11 ALUMINIUM FRAME WITH TIME CLAD FIXED LOUVERS
CODE DESCRIPTION	
01 Exterior Wall	Alucobond natural zinc standing seam or similar
02 Exterior Wall	Brick PGH Olympus or similar
03 Exterior Wall	Painted brick - Barista Smile
04 Exterior Wall	Timber Cladding or similar
05 Exterior Wall	Whisper White render or similar
06 Exterior Wall	Cladding with Chalkstone painted finish
07 Exterior Wall	Cladding with Private Jet painted finish
08 Balustrade	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze) & clear glass
09 Window	Aluminium frame (Electro Powdercoat, Dulux, Dark Bronze) & clear glass
10 Sliding glass doors	Aluminium frame (Black Anod, Dulux) & clear glass
11 Louvers	Aluminium frame with time clad fixed louvers
12 Balustrade	Flat Bar vertical panels (Dulux Burnished Copper)



Average star rating: 6.4

Certificate no.: 0000839150
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 11 October 2016
Dwelling Address: 9-13 Goulburn St, Warwick Farm, NSW 2170
www.nathers.gov.au



H	GENERAL REVISION-comments	20/11/17	20/11/2017
G	GENERAL REVISION-DRP COMMENTS		23/10/2017
F	GENERAL REVISION		12/10/2017
E	GENERAL REVISION		29/08/2017
D	GENERAL REVISION		30/03/2017
C	GENERAL REVISION		09/02/2017
B	DA AMENDMENTS		19/01/2017
A	DA SUBMISSION		13/10/2016
Issue	Amendment		Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM



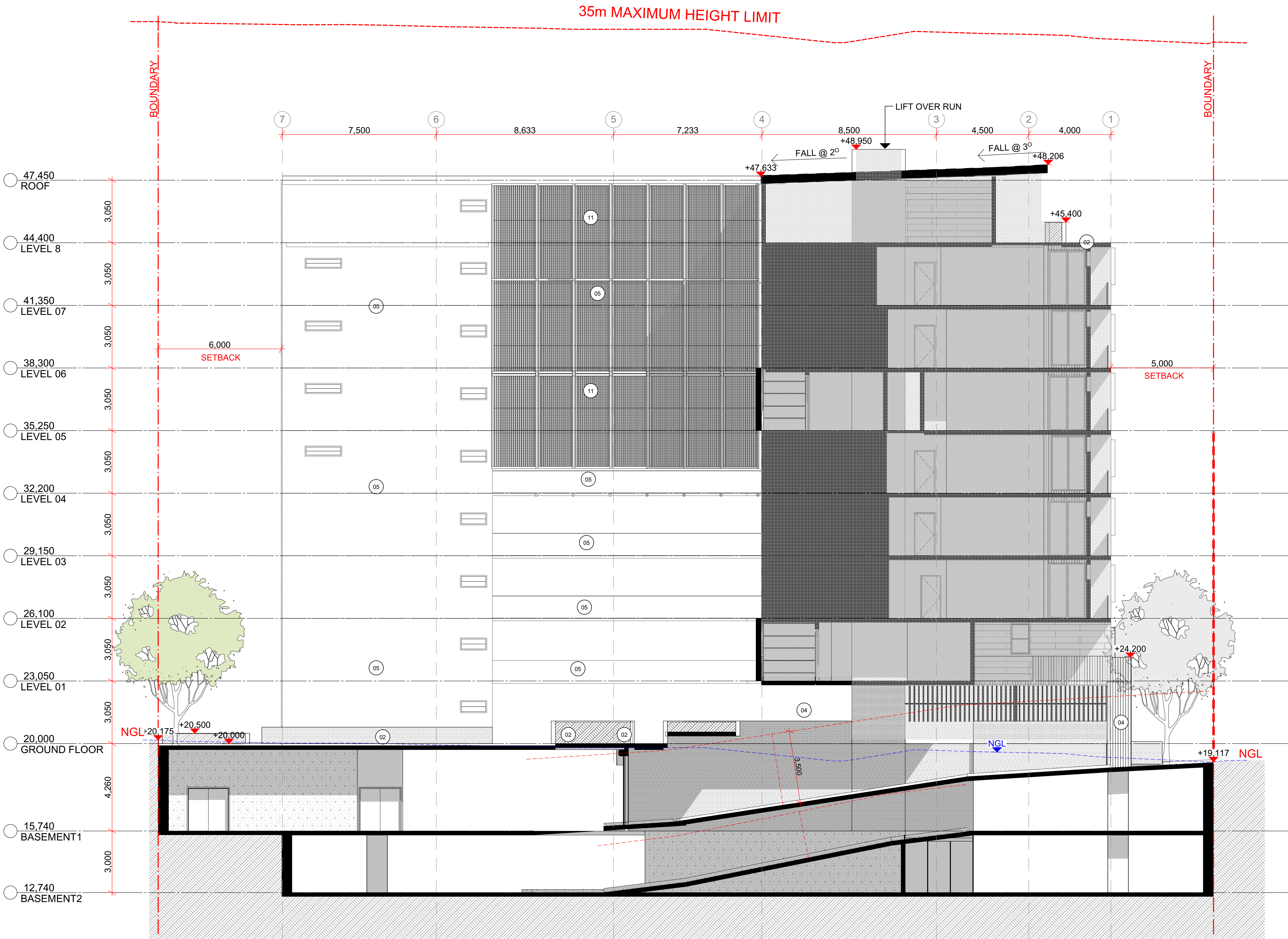
LVL 10, 11-15 DEANE ST, BURWOOD NSW 2134
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Nominated Architect
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Joseph El Khawaja Reg: 8933

Drawing Title
ELEVATIONS
INTERNAL SOUTH ELEVATION

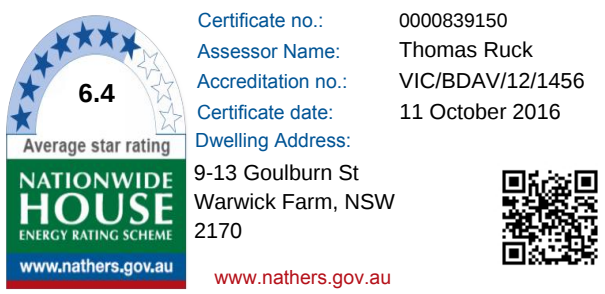
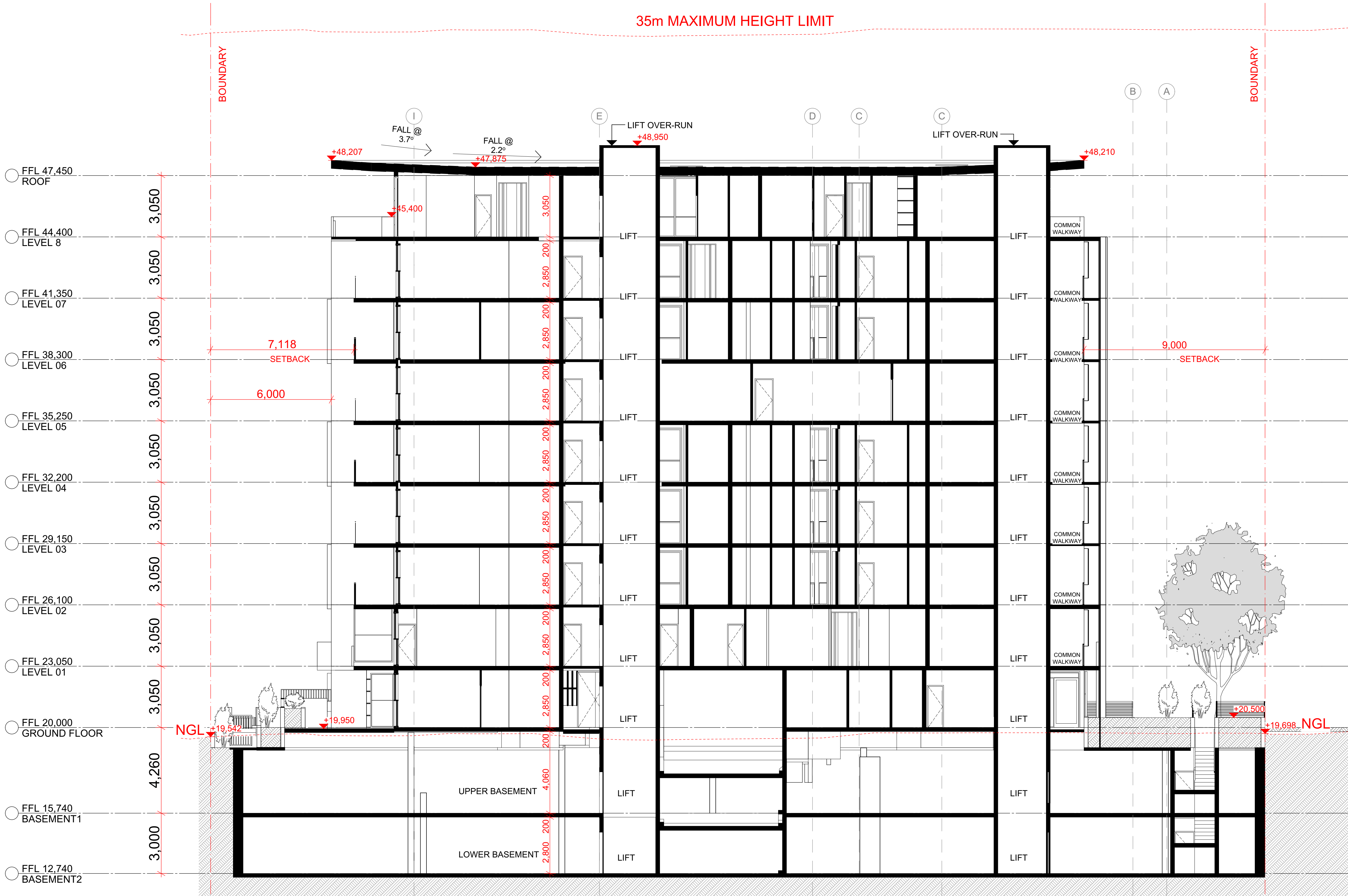
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Project number 16042	Drawing number DA3004	Revision H
Status DA SUBMISSION		



PLAN - INTERNAL SOUTH ELEVATION
SCALE 1:100



E	GENERAL REVISION	29/08/2017
D	GENERAL REVISION	30/03/2017
C	GENERAL REVISION	09/02/2017
B	DA AMENDMENTS	19/01/2017
A	DA SUBMISSION	13/10/2016
Issue	Amendment	Date

Client
VENTUS GROUP

Project
**9-13 GOULBURN STREET
WARWICK FARM**

URBAN LINK
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Nominated Architect
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Joseph El Khawaja Reg: 8933

Drawing Title
**SECTIONS
SECTION**

Date Generated
27/10/2017

Drawn
CH

Checked
TJ

Scale
1:100, 1:1.23
@ A1 sheet size

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Project number
16042

Drawing number
DA3100

Revision
E

Status
DA SUBMISSION

VENTUS GROUP

URBAN  LINK

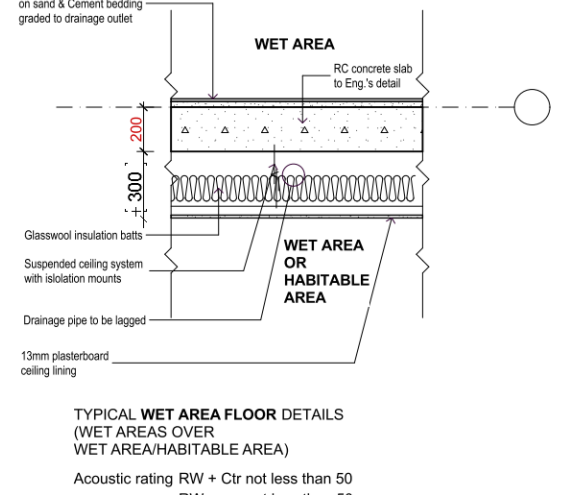
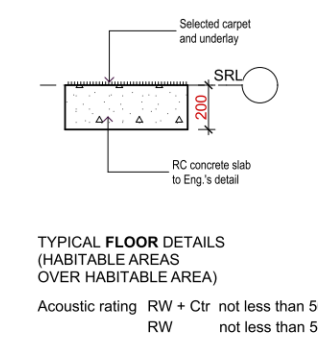
Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

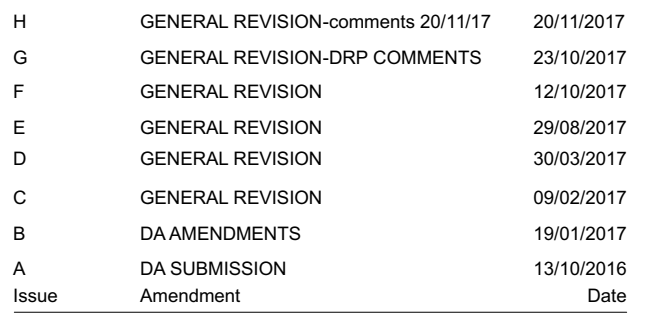
SECTIONS
SECTION



mm on original

Status
DA SUBMISSION





Project
9-13 GOULBURN STREET
WARWICK FARM

Drawing Title

SECTIONS

RAMP SECTION

Scale
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@ A1 sheet size

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Project number	Drawing number	Revision
16042	DA3102	H
Status		
DA SUBMISSION		



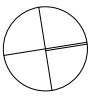
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B	DA AMENDMENTS		19/01/2017
A	DA SUBMISSION		13/10/2016
Issue	Amendment		Date

Client
VENTUS GROUP

Project
9-13 GOULBURN STREET
WARWICK FARM

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Nominated Architect
Ziad Boumelhem Reg: 8008 Ashraf Anwar Reg: 8007
Joseph El Khawaja Reg: 8933

Drawing Title
SCHEDULE OF FINISHES
PHOTOMONTAGE

Date Generated 21/11/2017	Drawn CH	Checked TJ	
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Project number 16042	Drawing number DA5001	Revision H	
Status DA SUBMISSION			